



1 Basement 5  
Scale 1 : 250 @ A3

REVISION B : - Basement 5 added

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

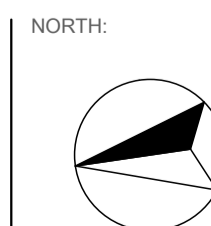
Drawing is NOT VALID or issued for use, unless checked.

## Development Application

Original Design:  
Zhinar Architects



GENERAL NOTES:  
Figured dimensions shall be taken in preference to scaling.  
Drawing to be read in conjunction with information on first page.  
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### SHEET TITLE: Basement 5 Plan

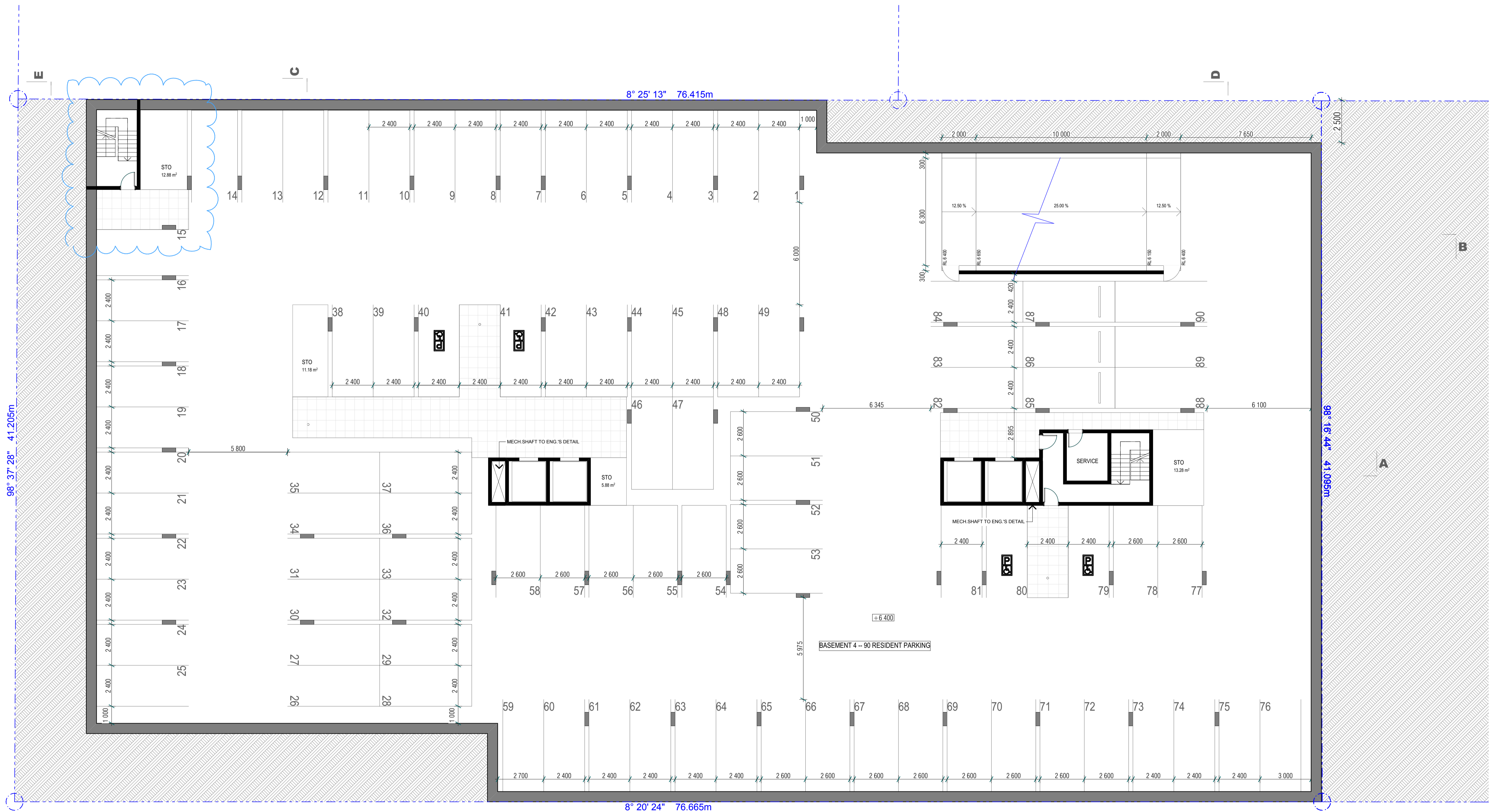
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 2:45 PM  
L.G.A: Cumberland Council



## MIXED USE DEVELOPMENT

4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:05A

ISSUE:  
B



1 Basement 4  
Scale 1 : 250 @ A3

REVISION B : - Fire stairs relocated to north eastern corner

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

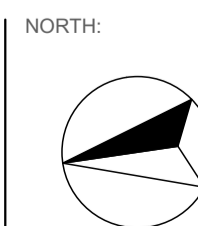
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## Development Application

Original Design:  
Zhinar Architects



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### SHEET TITLE: Basement 4 Plan

DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 2:45 PM  
L.G.A: Cumberland Council



## MIXED USE DEVELOPMENT

4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:05B

ISSUE:  
B



1 Basement 3  
Scale 1 : 250 @ A3

REVISION B : - Fire stairs relocated to north eastern corner

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

### Development Application

Original Design:  
Zhinar Architects



GENERAL NOTES:  
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### SHEET TITLE: Basement 3 Plan

DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 2:45 PM  
L.G.A: Cumberland Council



### MIXED USE DEVELOPMENT

4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:06

ISSUE:  
B



1 Basement 2  
Scale 1 : 250 @ A3

REVISION B : - Fire stairs relocated to north eastern corner

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

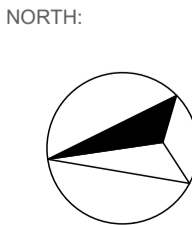
Drawing is NOT VALID or issued for use, unless checked.

### Development Application

Original Design:  
Zhinar Architects



GENERAL NOTES:  
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Drawing to be read in conjunction with information on first page.  
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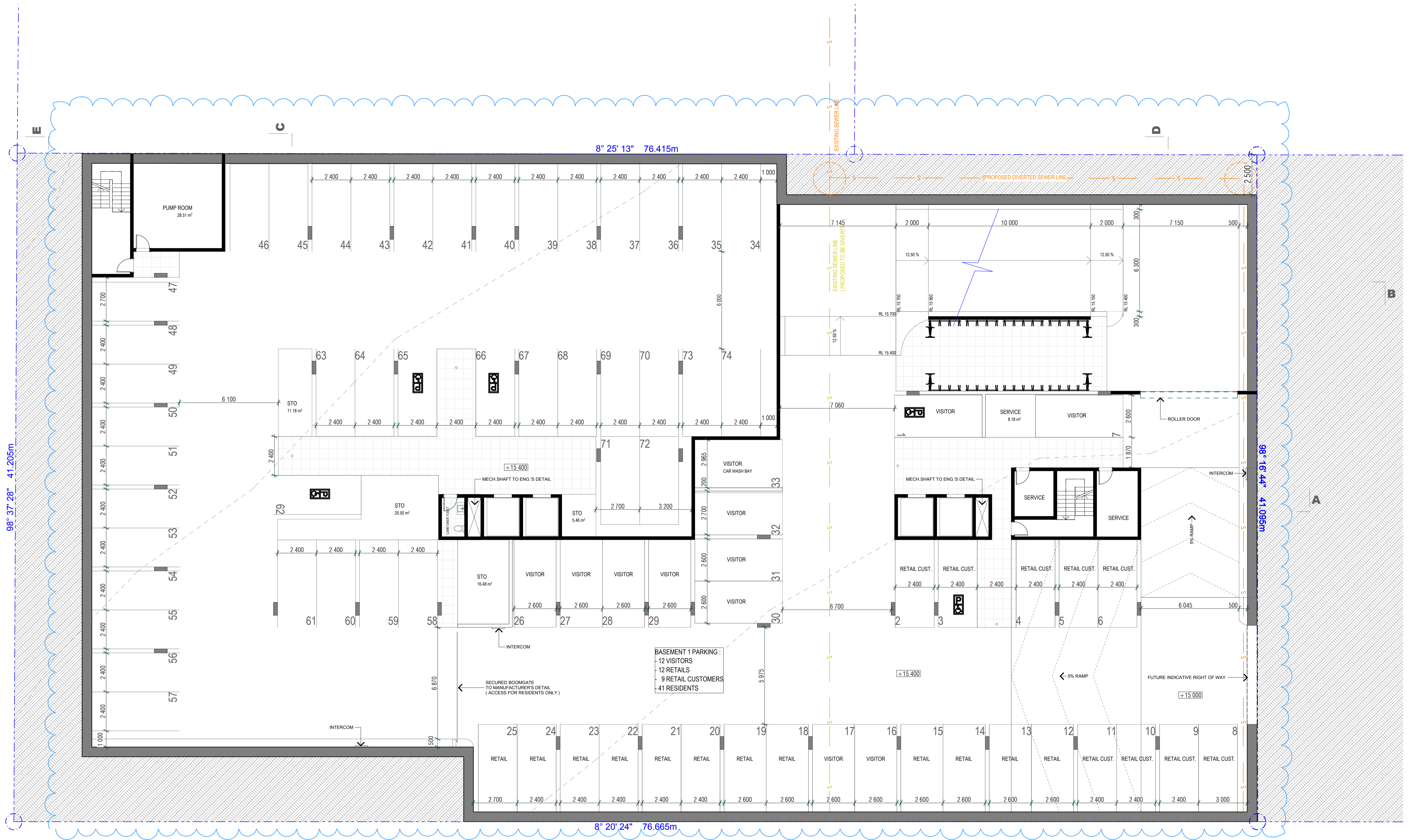
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DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 2:45 PM  
L.G.A: Cumberland Council



### MIXED USE DEVELOPMENT

4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:07

ISSUE:  
B



1 Basement 1  
Scale 1 : 250 @ A3

REVISION B :  
- Basement 1 layout amended to separate public and private parkings  
- Fire stairs relocated to north eastern corner

ISSUE	AMENDMENT	DATE	BY	CHECKED
DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM

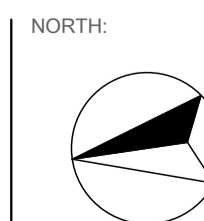
Drawing is NOT VALID or issued for use, unless checked.

## Development Application

Original Design:  
Zhinar Architects



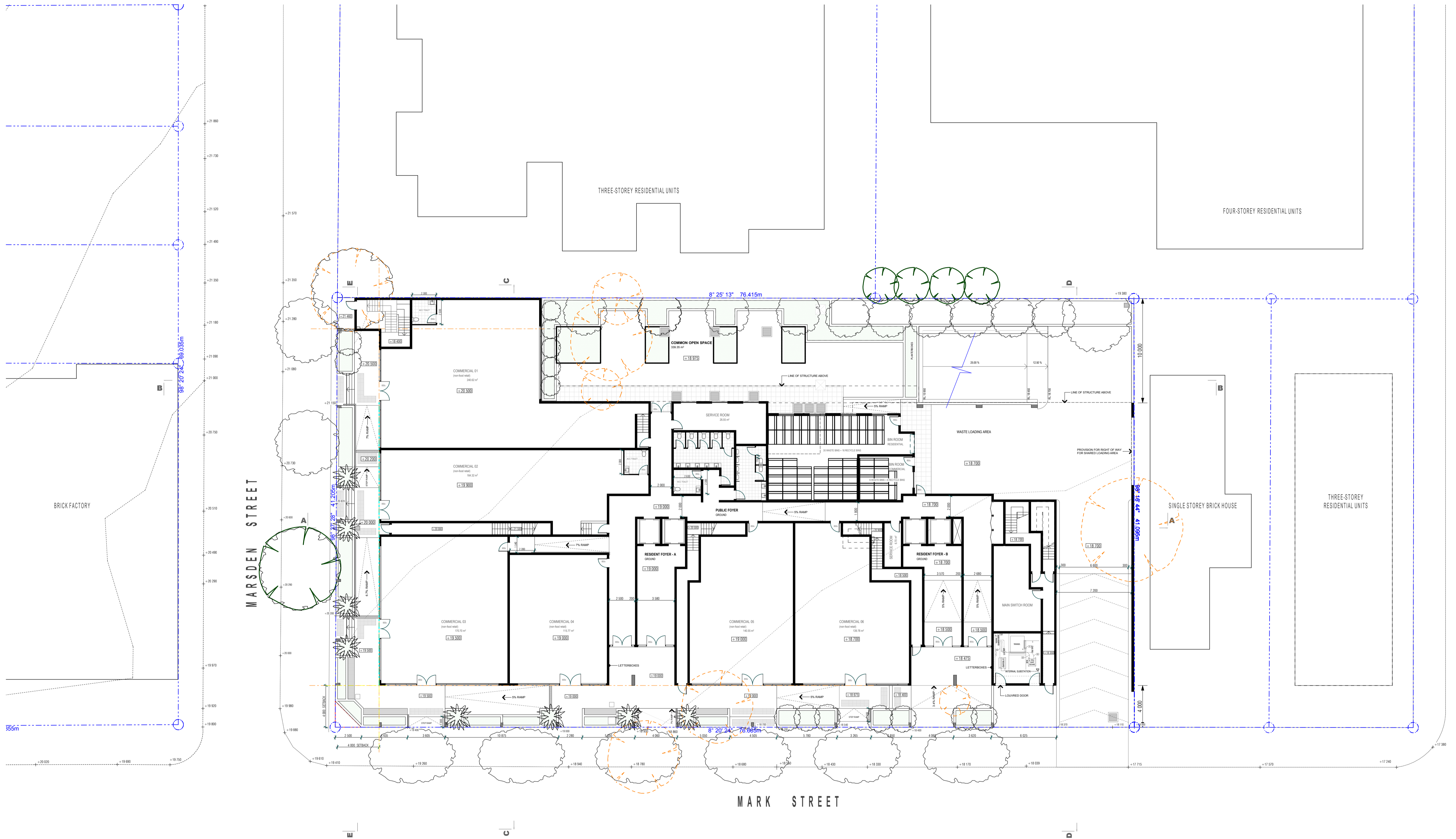
GENERAL NOTES:  
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SHEET TITLE:  
**Basement 1 Plan**  
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PLOT: Monday, 29 January 2018 2:45 PM  
L.G.A: Cumberland Council



**MIXED USE DEVELOPMENT**  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:08  
ISSUE: B



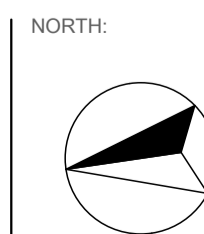
1 Site Plan ( Existing Context )  
Scale 1 : 400 @ A3

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	30/01/2018	YT	AHM	
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM	
ISSUE	AMENDMENT				
Drawing is NOT VALID or issued for use, unless checked.					

Development Application  
Original Design:  
Zhinar Architects



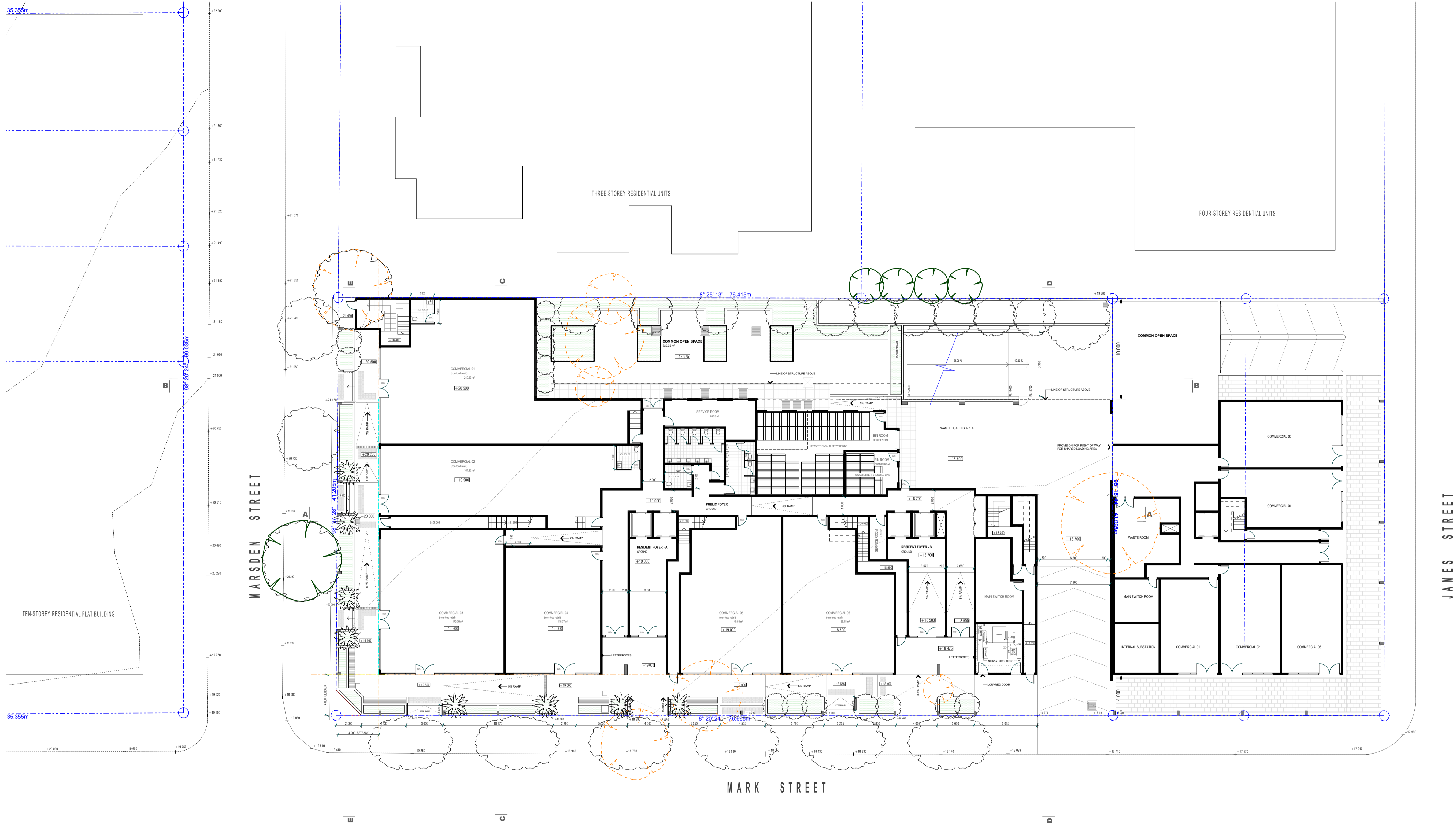
GENERAL NOTES:  
Figured dimensions shall be taken in preference to scaling.  
Drawing to be read in conjunction with information on first page.  
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SHEET TITLE:  
Site Plan (Existing Context)  
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Tuesday, 30 January 2018 10:38 AM  
L.G.A: Cumberland Council



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:09A  
ISSUE: B



1 Site Plan ( Future Context )  
Scale 1 : 400 @ A3

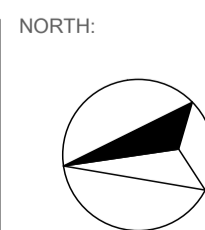
DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	30/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

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Development Application  
Original Design:  
Zhinar Architects



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SHEET TITLE:  
Site Plan (Future Context)

DESIGNED:	DRAWN:	COMMENCED:	SCALE:	PRINT:
AHM	YT	March 2017	1:125@A1 1:250@A3	A3 SHEET

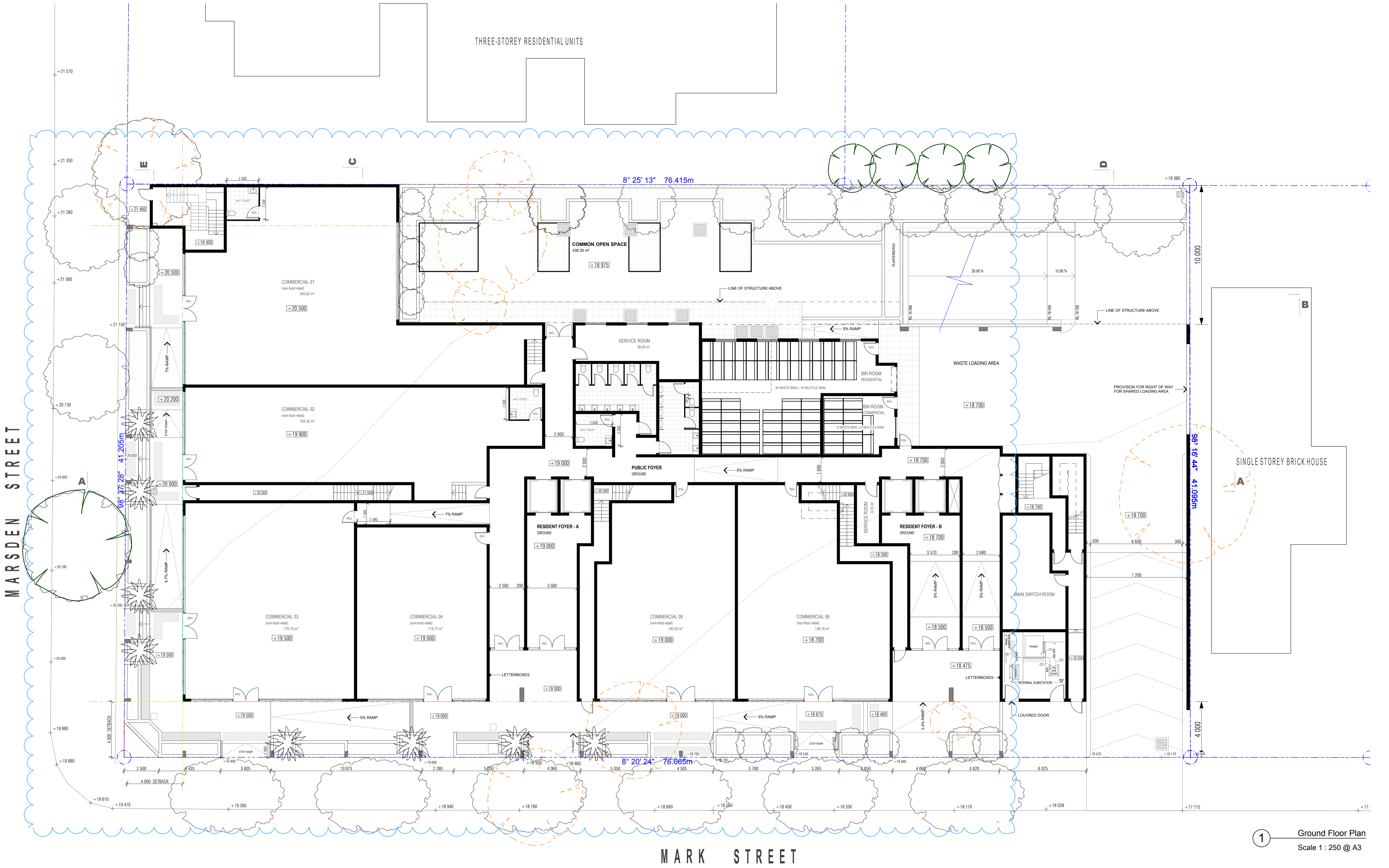
L.G.A: Cumberland Council

PLOT:  
Tuesday, 30 January 2018 10:38 AM



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:09B

ISSUE:  
B



1 Ground Floor Plan  
Scale 1 : 250 @ A3

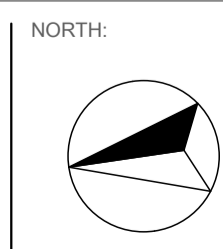
REVISION B :  
- All residential units (previously proposed) converted to commercial areas  
- Rear courtyard allocated for public/commercial tenancies and visitors' use ( non-residents )  
- Ground to Level 1 floor height increased by 500mm

ISSUE	AMENDMENT	DATE	BY	CHECKED
DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	30/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM

Development Application  
Original Design:  
Zhinar Architects



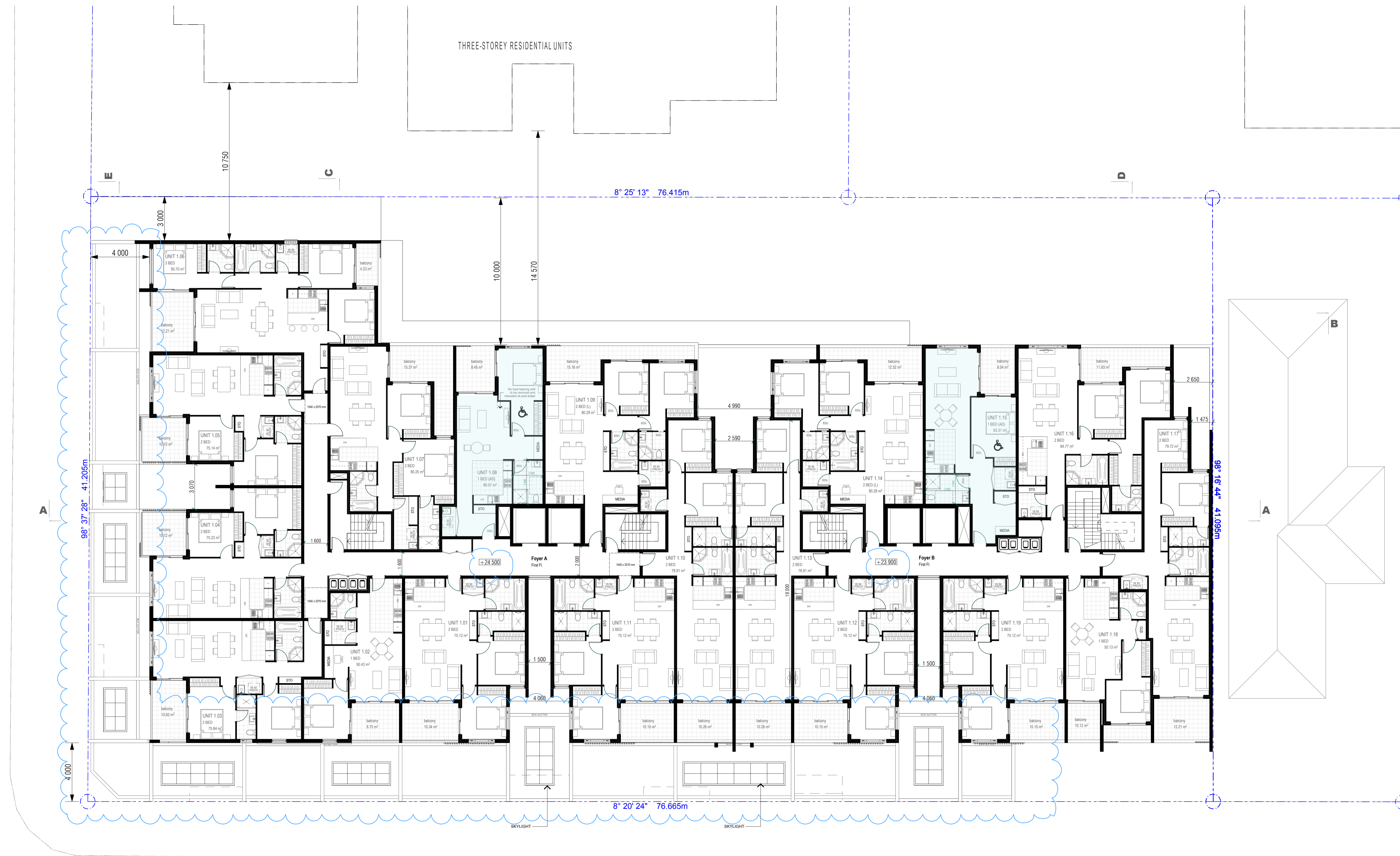
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SHEET TITLE:  
Ground FI Plan  
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Tuesday, 30 January 2018 10:38 AM  
L.G.A: Cumberland Council



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:10  
ISSUE: B



1 Level 1 Plan  
Scale 1 : 250 @ A3  
ADAPTABLE UNIT

REVISION B : - Awnings amended to suit the changes on storefront pathways below  
- Floor RL's for core A & B raised by 500mm

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

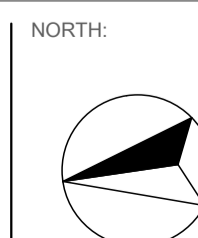
Drawing is NOT VALID or issued for use, unless checked.

## Development Application

Original Design:  
Zhinar Architects



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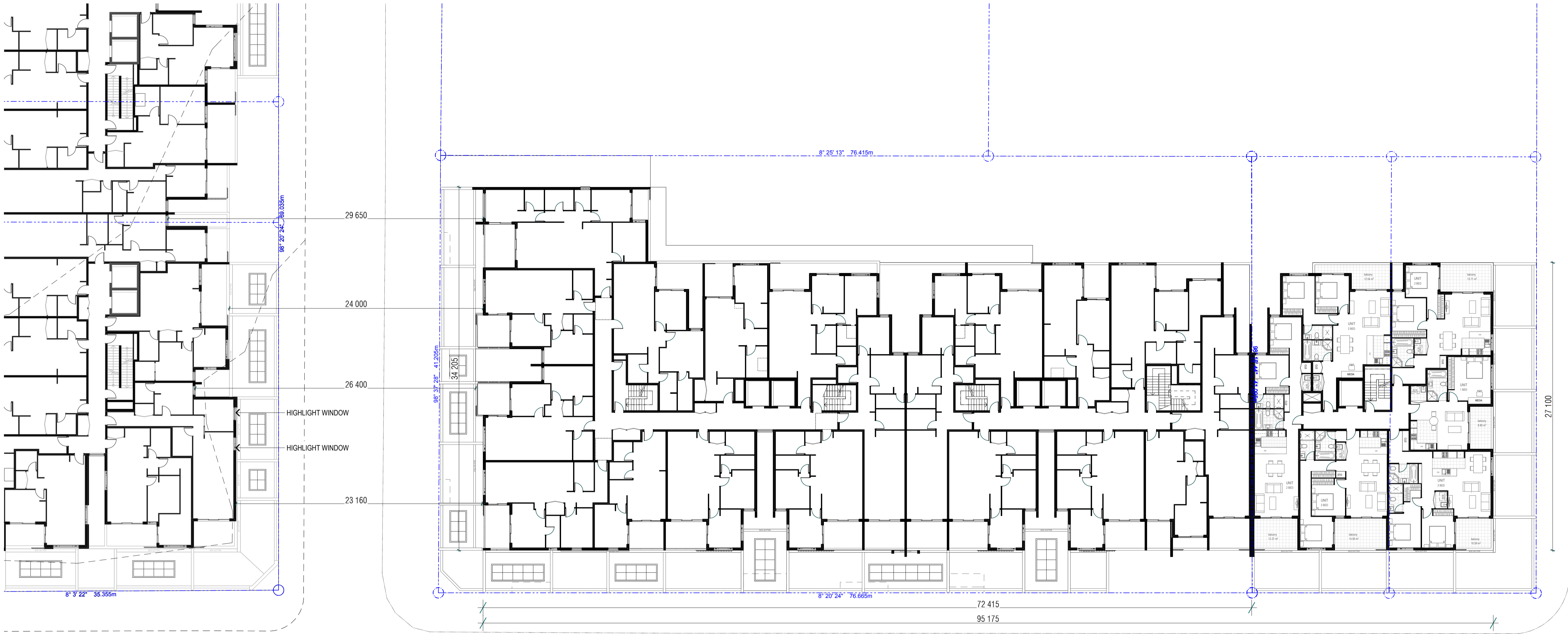
SHEET TITLE:  
Level 1 Plan  
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:28 AM  
L.G.A: Cumberland Council



## MIXED USE DEVELOPMENT

4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:11A

ISSUE:  
B



1 First Floor - FUTURE CONTEXT  
Scale 1 : 400 @ A3

2 Mark St  
( Future Neighboring Development )

4-14 Mark St  
( Proposed )

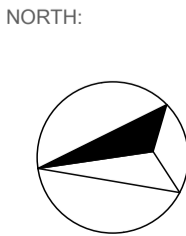
16-18 Mark St  
( Future Context )

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			
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Development Application  
Original Design:  
Zhinar Architects



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SHEET TITLE:  
Future Context (Level 1-9)

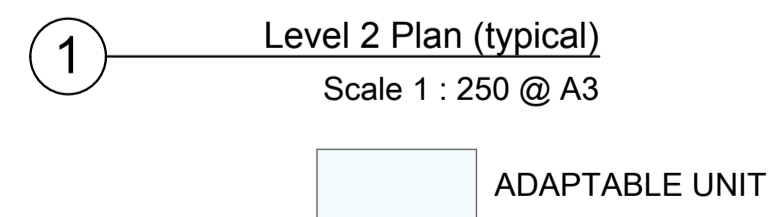
DESIGNED: AHM    DRAWN: YT    COMMENCED: March 2017    SCALE: 1:125@A1, 1:250@A3    PRINT: A3 SHEET

L.G.A: Cumberland Council    PLOT: Monday, 29 January 2018 11:28 AM




MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:11B

ISSUE:  
B

[illegible]

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NORTH:

A circular compass rose with a vertical line through the center. The top half is shaded black, representing North. The bottom half is white, representing South. The left half is white, representing East. The right half is white, representing West.

3



1 Level 3-7 Plans (typical)  
Scale 1 : 250 @ A3  
ADAPTABLE UNIT

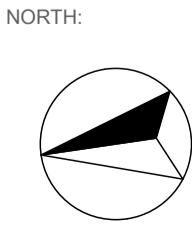
REVISION B : - Floor RL's for core A & B raised by 500mm

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

Development Application  
Original Design:  
Zhinar Architects



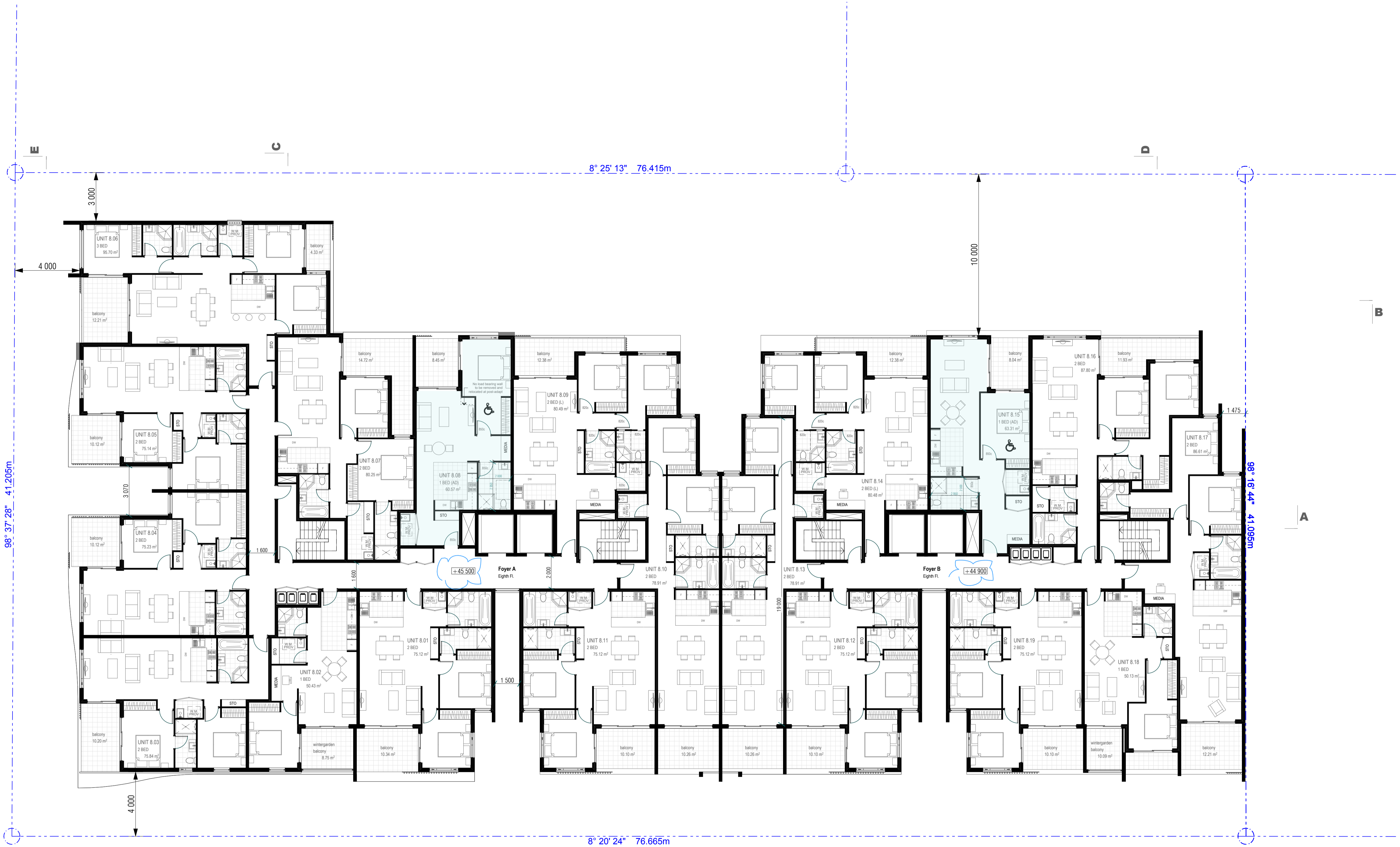
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SHEET TITLE:  
Level 3-7 Plans (typical)  
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:28 AM  
L.G.A: Cumberland Council



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:13  
ISSUE: B



1 Level 8 Plan  
Scale 1 : 250 @ A3  
ADAPTABLE UNIT

REVISION B : - Floor RL's for core A & B raised by 500mm

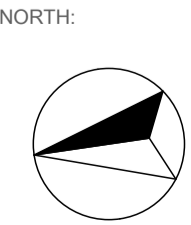
DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

Drawing is NOT VALID or issued for use, unless checked.

Development Application  
Original Design:  
Zhinar Architects



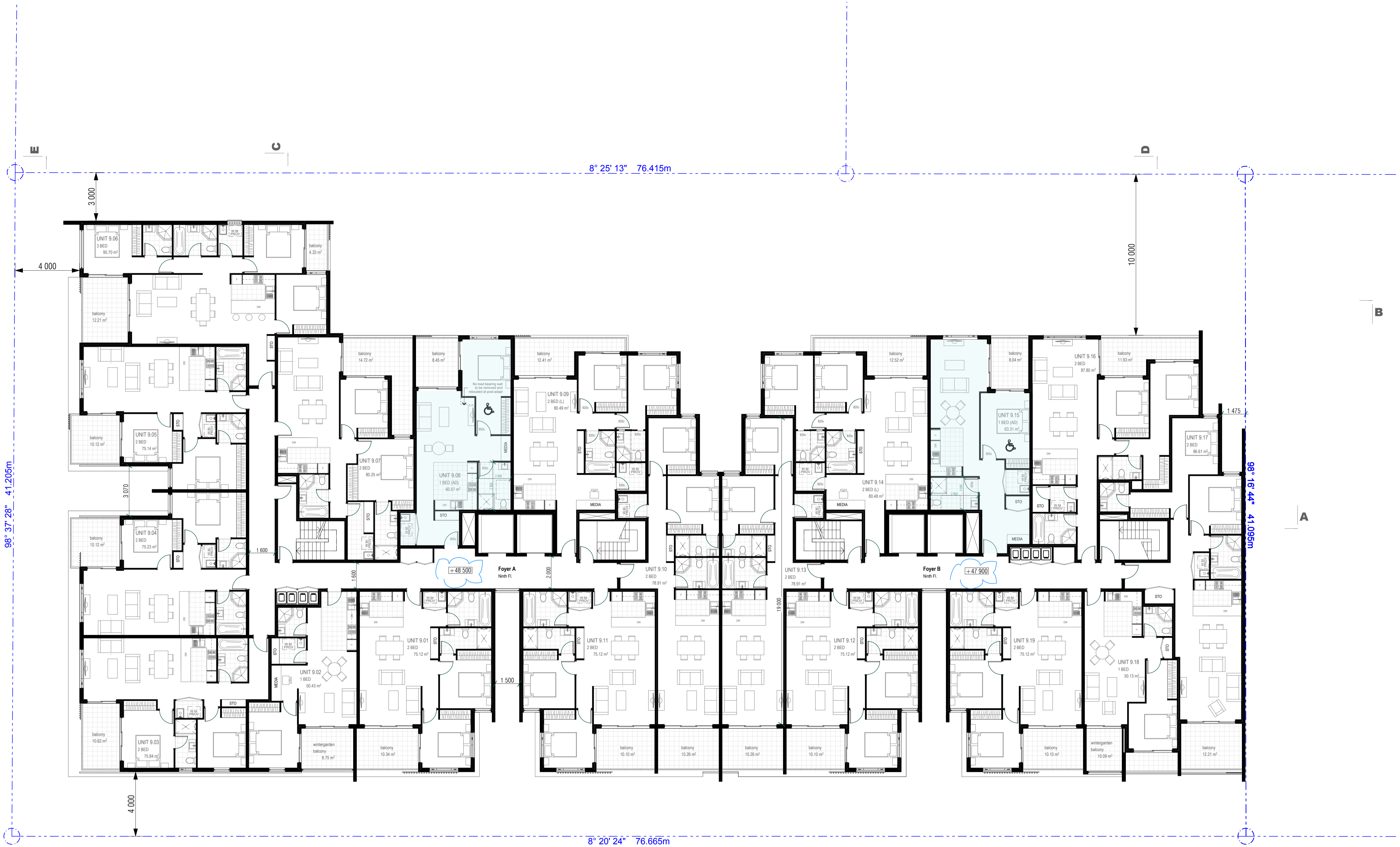
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SHEET TITLE:  
Level 8 Plan  
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:28 AM  
L.G.A: Cumberland Council



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:14  
ISSUE: B



1 Level 9 Plan  
Scale 1 : 250 @ A3  
ADAPTABLE UNIT

REVISION B : - Floor RL's for core A & B raised by 500mm

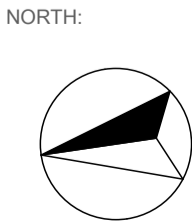
DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

Drawing is NOT VALID or issued for use, unless checked.

Development Application  
Original Design:  
Zhinar Architects



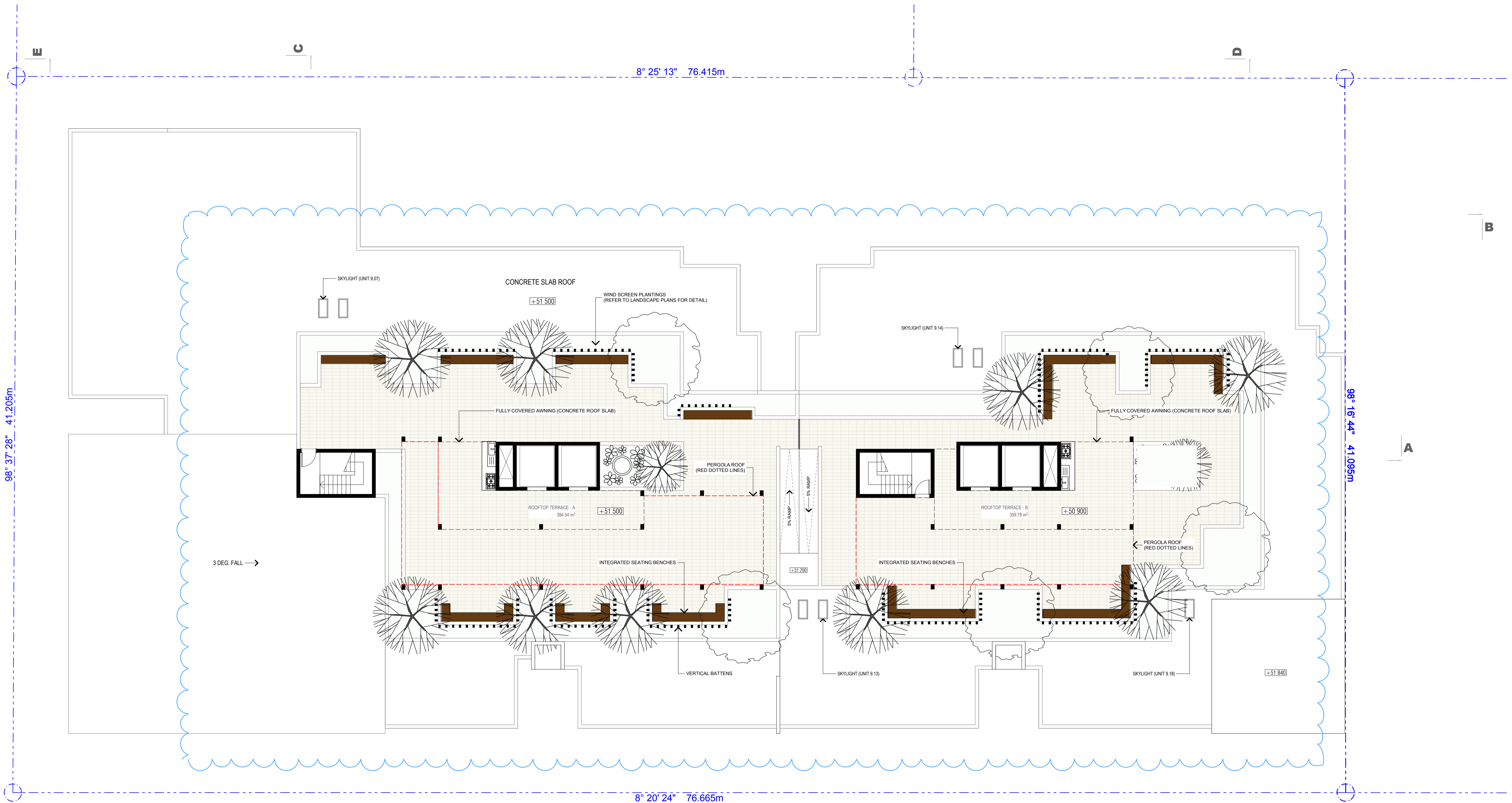
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SHEET TITLE:  
Level 9 Plan  
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:28 AM  
L.G.A: Cumberland Council



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:15  
ISSUE: B



1 Rooftop Terrace  
Scale 1 : 250 @ A3

REVISION B : - Add rooftop terrace COS to tower-B, connected by accessible ramps to tower-A rooftop terrace  
- Floor RL's raised by 500mm

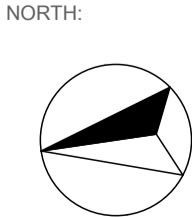
DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	31/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

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Development Application  
Original Design:  
Zhinar Architects



GENERAL NOTES:  
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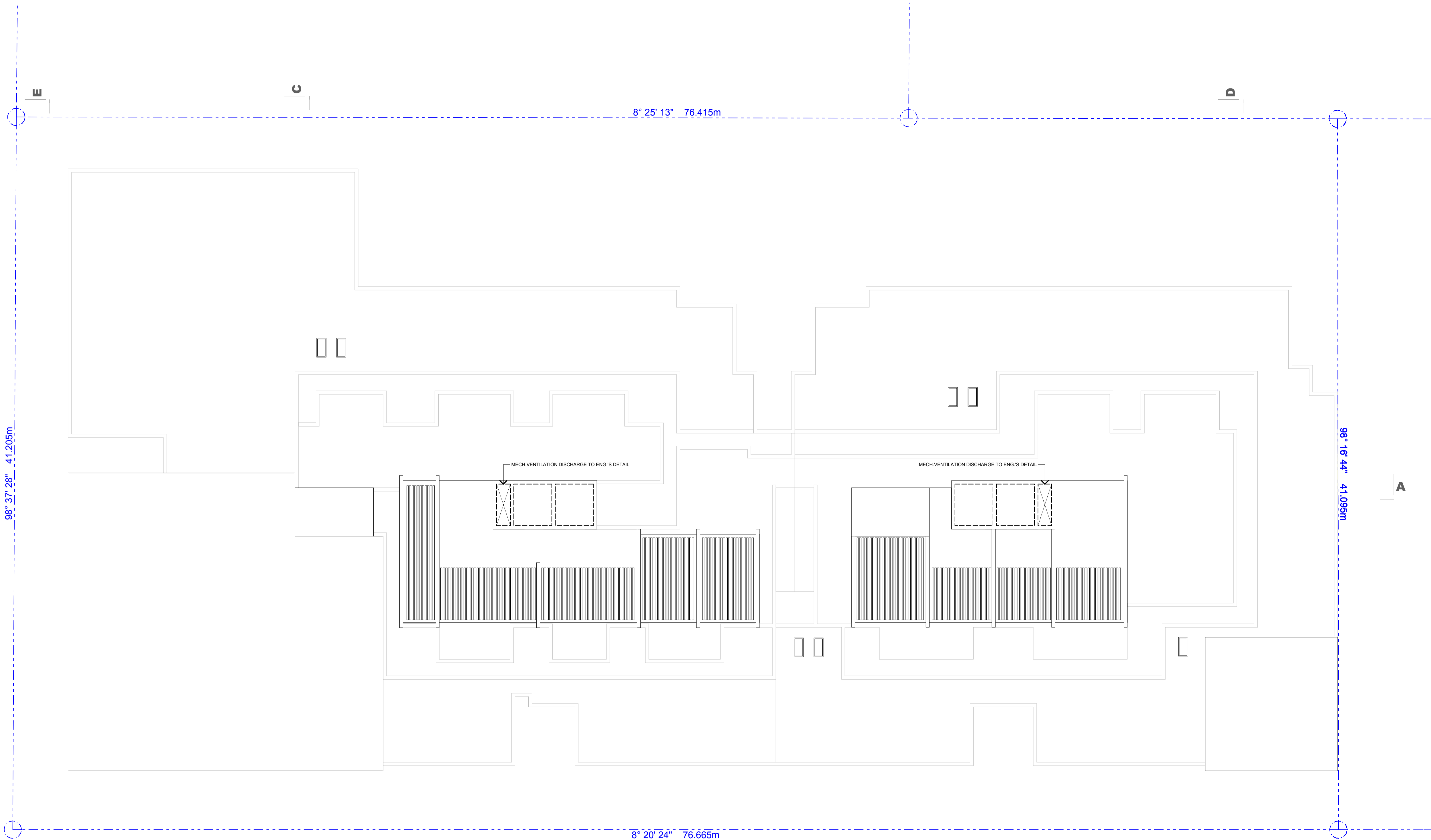


SHEET TITLE:  
**Roof Plan**  
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Wednesday, 31 January 2018 10:17 AM  
L.G.A: Cumberland Council



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:16

ISSUE:  
B



1 Top Roof Plan  
Scale 1 : 250 @ A3

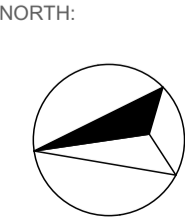
REVISION B :  
- Add rooftop terrace COS to tower-B and connected to tower-A rooftop terrace  
- Floor RL's raised by 500mm

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			
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Development Application  
Original Design:  
Zhinar Architects



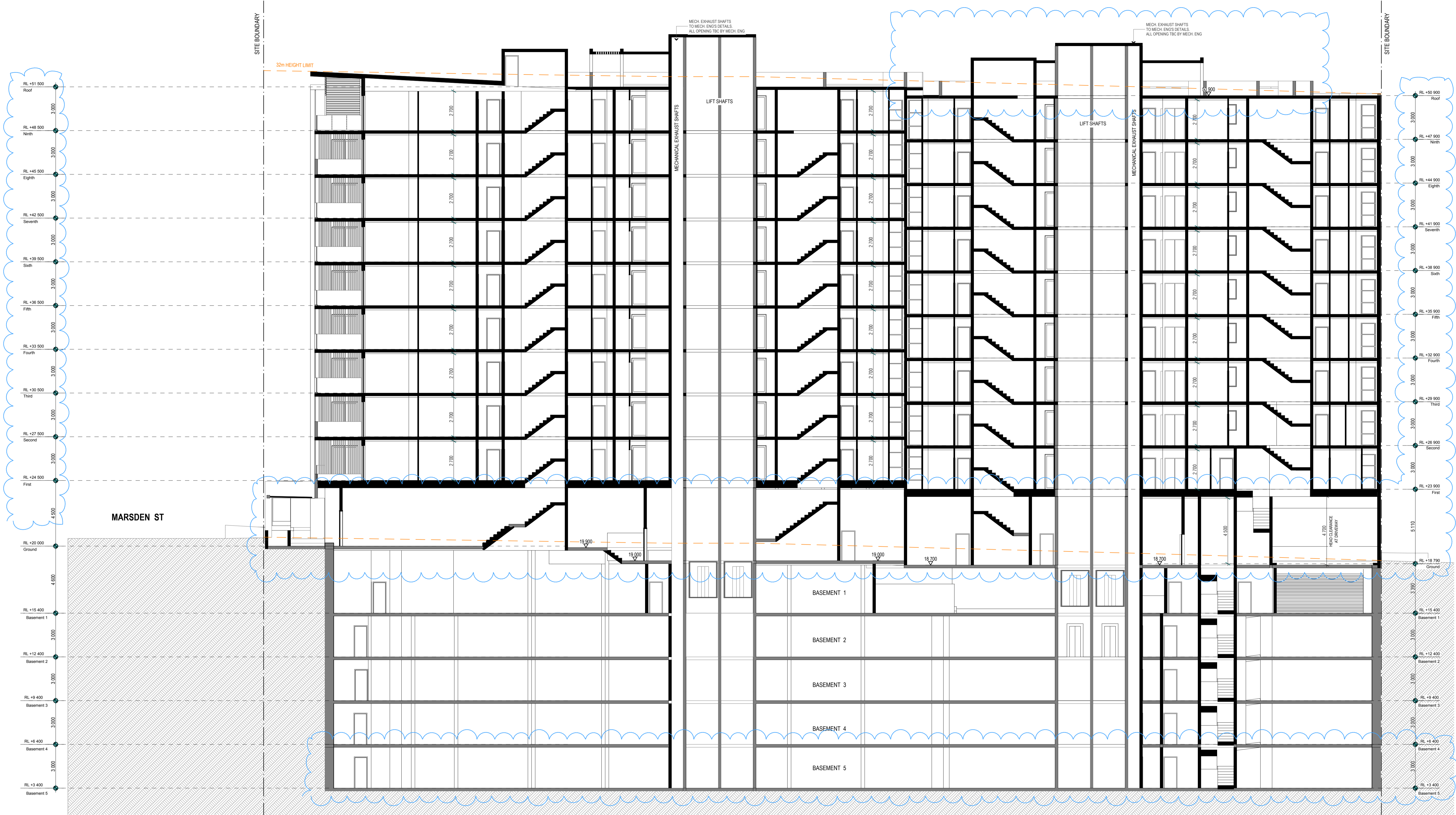
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SHEET TITLE:  
Top Roof Plan  
DESIGNED: AHM  
DRAWN: Y T  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:28 AM  
L.G.A: Cumberland Council



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:17  
ISSUE: B



1 Section A  
Scale 1 : 250 @ A3

- REVISION B :
- All residential units (previously proposed) on Ground converted to commercial areas
  - Ground to Level 1 floor height increased by 500mm, upper floors follow
  - Add rooftop terrace COS to tower B, connected by accessible ramps to tower A rooftop terrace
  - Add one basement level ( B5 )

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

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## Development Application

Original Design:  
Zhinar Architects



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NORTH:

### SHEET TITLE: Section A

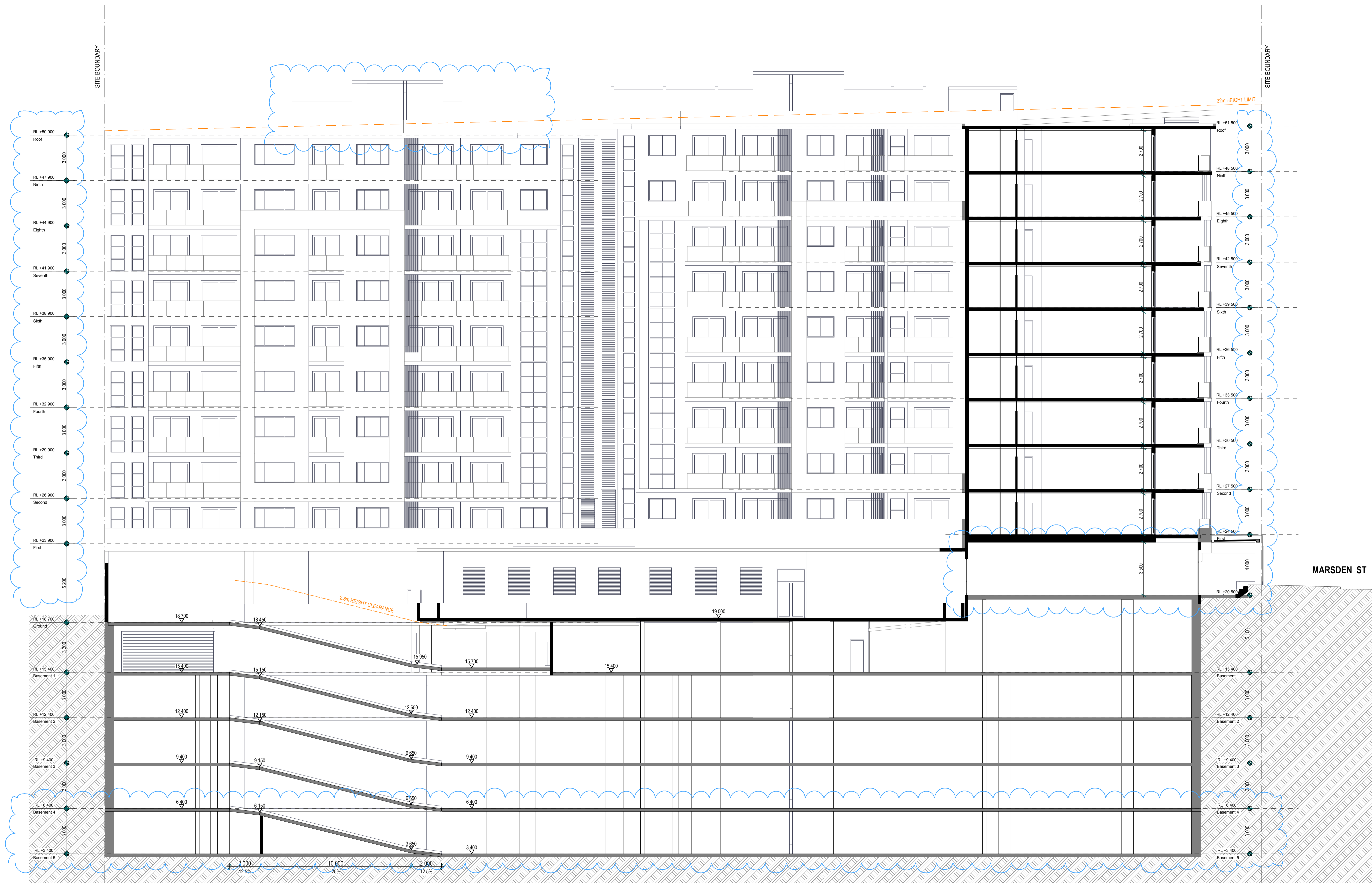
DESIGNED: AHM  
DRAWN: Y T  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:27 AM  
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## MIXED USE DEVELOPMENT

4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:22

ISSUE:  
B



1 Section B  
Scale 1 : 250 @ A3

- REVISION B :
- All residential units (previously proposed) on Ground converted to commercial areas
  - Ground to Level 1 floor height increased by 500mm, upper floors follow
  - Add rooftop terrace COS to tower B, connected by accessible ramps to tower A rooftop terrace
  - Add one basement level ( B5 )

ISSUE	DESCRIPTION	DATE	DRAWN	CHECKED
DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
AMENDMENT				

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## Development Application

Original Design:  
Zhinar Architects



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NORTH:

### SHEET TITLE: Section B

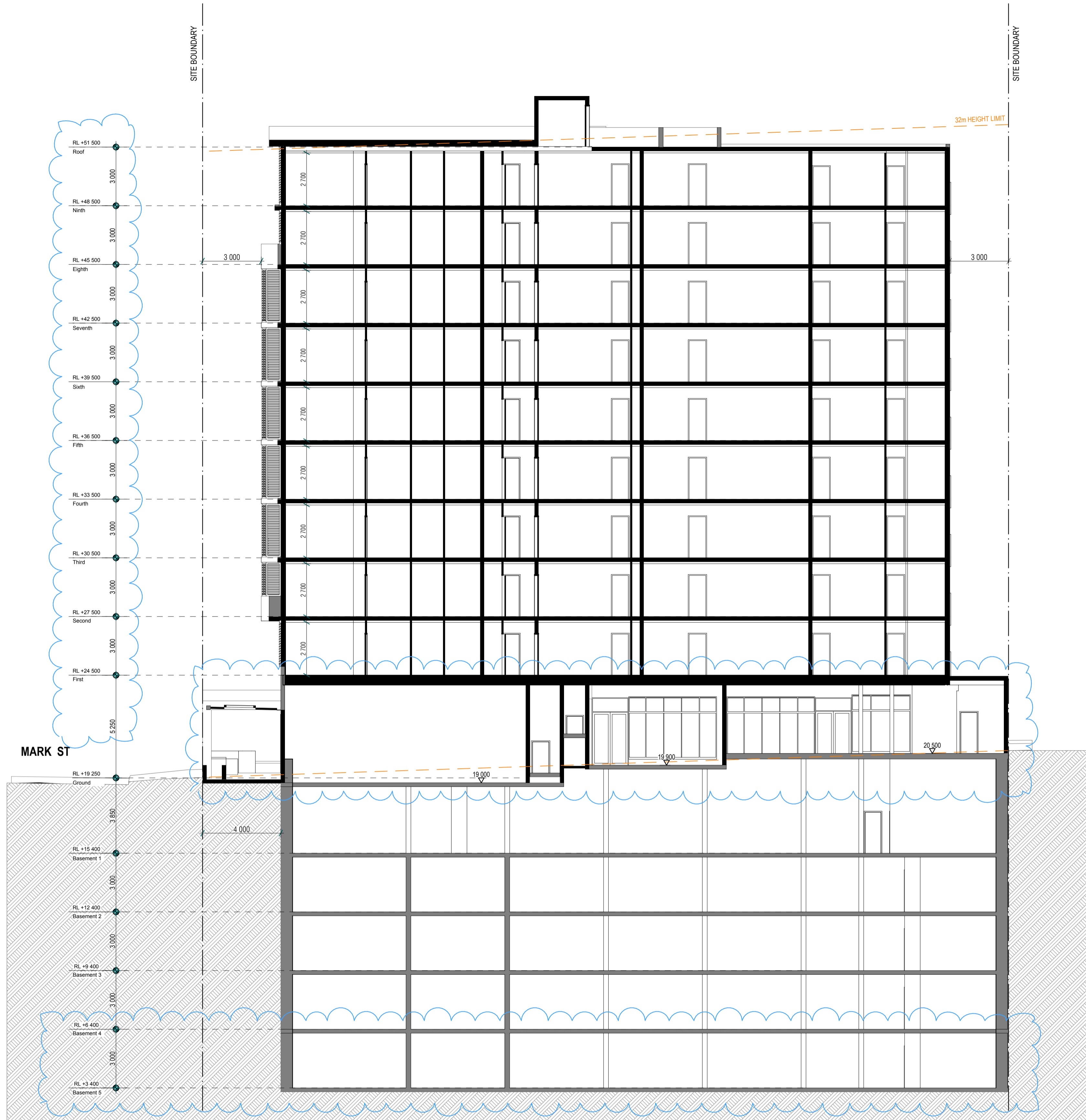
DESIGNED: AHM  
DRAWN: Y T  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:27 AM  
L.G.A: Cumberland Council



## MIXED USE DEVELOPMENT

4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:23

ISSUE:  
B



1 Section C  
Scale 1 : 250 @ A3

REVISION B :  
- All residential units (previously proposed) on Ground converted to commercial areas  
- Ground to Level 1 floor height increased by 500mm, upper floors follow  
- Add one basement level ( B5 )

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

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## Development Application

Original Design:  
Zhinar Architects



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NORTH:

SHEET TITLE:  
Section C

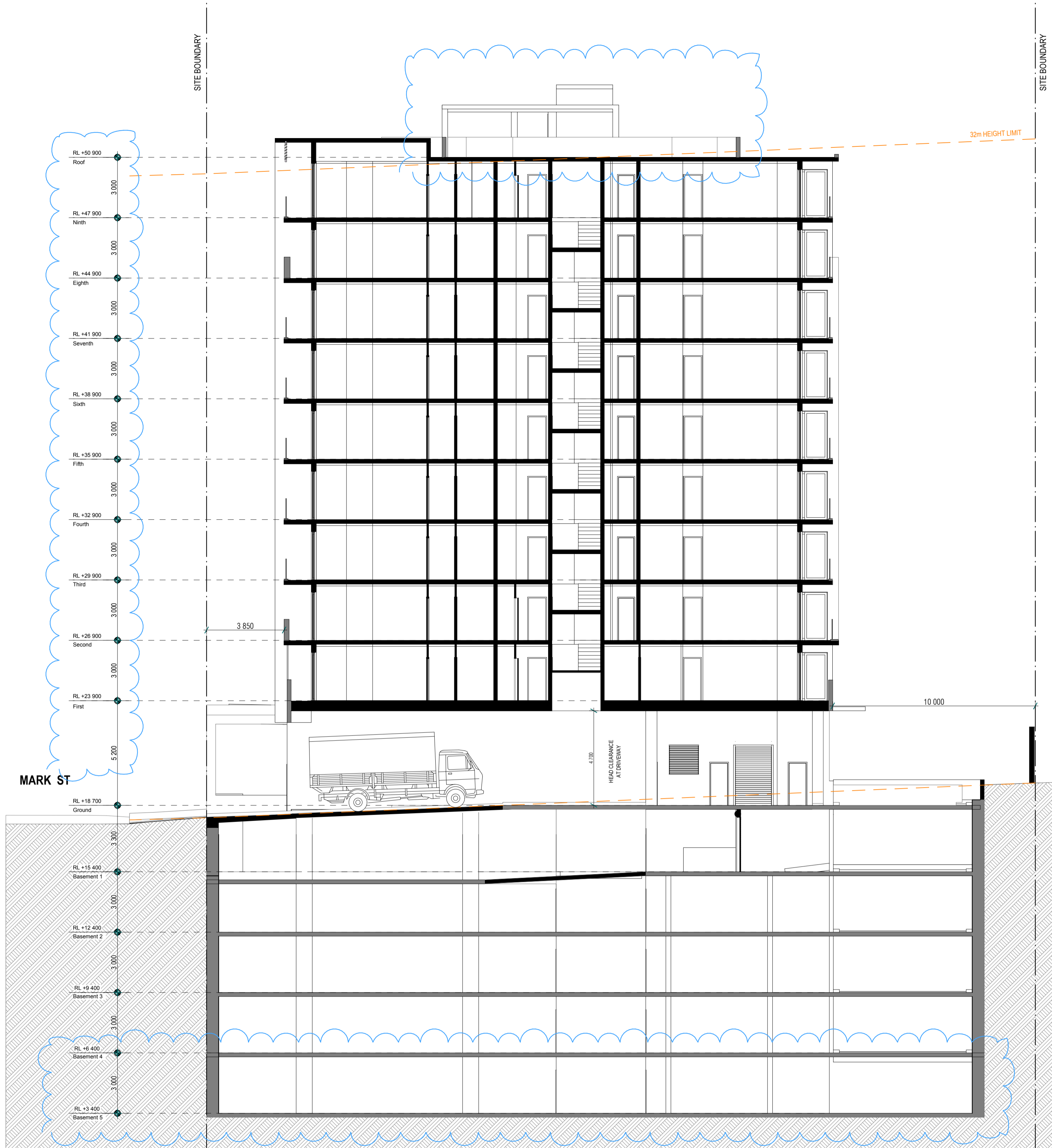
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
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1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:27 AM  
L.G.A: Cumberland Council



## MIXED USE DEVELOPMENT

4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:24

ISSUE:  
B



1 Section D  
Scale 1 : 250 @ A3

REVISION B :  
- Ground to Level 1 floor height increased by 500mm, upper floors follow  
- Add rooftop terrace COS to tower B, connected by accessible ramps to tower A rooftop terrace  
- Add one basement level ( B5 )

ISSUE	AMENDMENT	DATE	BY	CHECKED
DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM

## Development Application

Original Design:  
Zhinar Architects



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NORTH:

SHEET TITLE:  
Section D

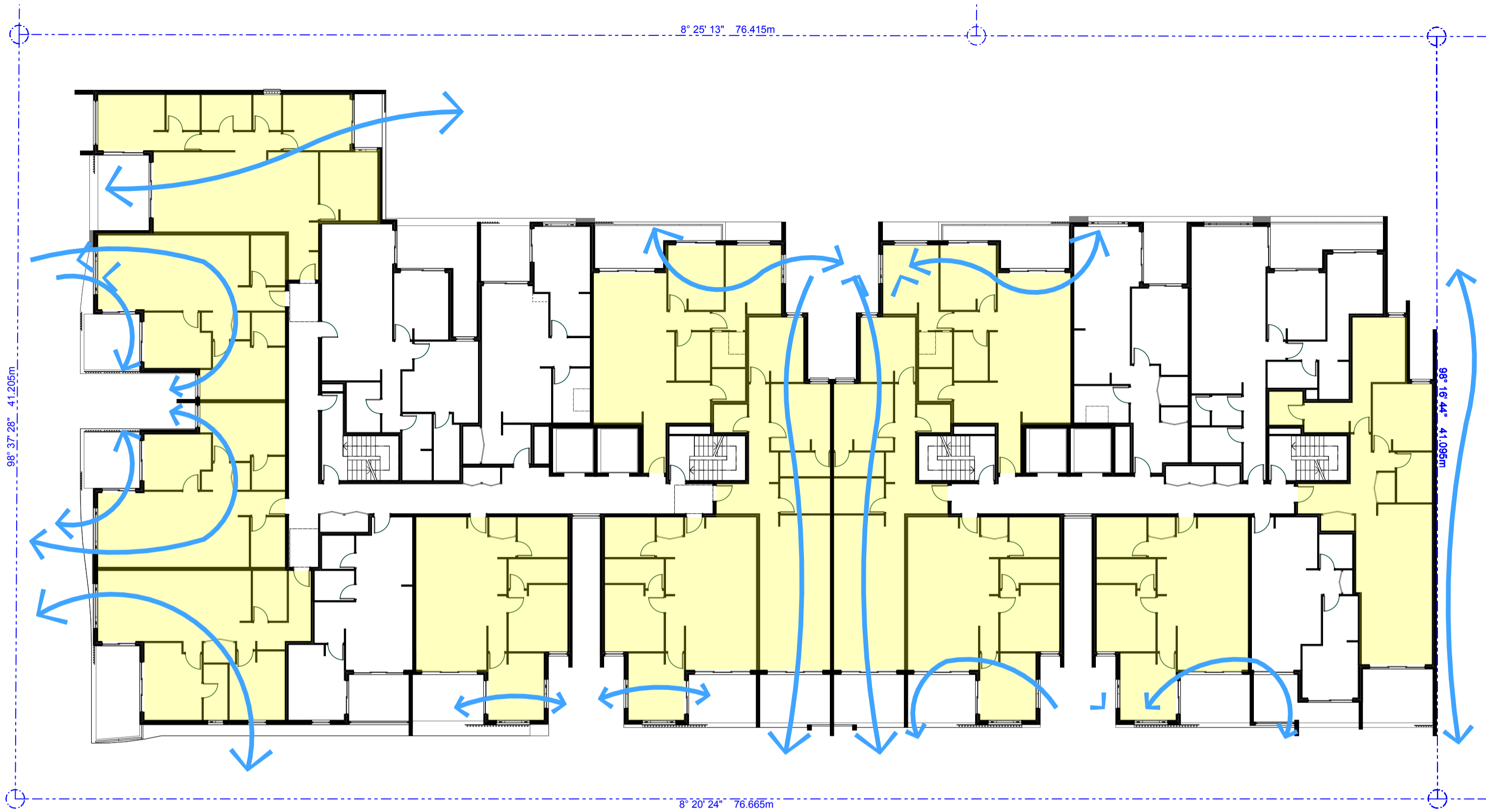
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
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PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 1:40 PM  
L.G.A: Cumberland Council



## MIXED USE DEVELOPMENT

4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:25

ISSUE:  
B



1 Level 1-9 (Cross Vent)

Solar & Cross Ventilation Compliance

UNIT NUMBER & TYPE	UNIT TYPE	CROSS VENT.	SOLAR ACCESS	TOTAL HOURS (2hrs MIN)	SOLAR COMPLIANCE	P.O.S	INT. STORAGE (m3)
Unit 1.01 – 9.01 (typical)	2BR	YES	13:00-15:00	2	YES	10.34 m2 (Unit G.01 = 10.34 m2+ 35.7 m2)	2.7
Unit 1.02 – 9.02 (typical)	1BR	NO	13:00-15:00	2	YES	8.75 m2 (Unit G.02 = 8.75 m2+ 25.8 m2)	2.6
Unit 1.03 – 9.03 (typical)	2BR	YES	09:00-15:00	6	YES	10.62 m2 (Unit G.03 = 10.62 m2+ 94.65 m2)	2
Unit 1.04 – 9.04 (typical)	2BR	YES	09:00-15:00	6	YES	10.12 m2 (Unit G.04 = 15.83 m2+ 34.28 m2)	2
Unit 1.05 – 9.05 (typical)	2BR	YES	09:00-15:00	6	YES	10.12 m2 (Unit G.05 = 15.83 m2+ 37 m2)	2
Unit 1.06 – 9.06 (typical)	3BR	YES	09:00-14:00	5	YES	16.54 m2 (Unit G.06 = 12.21 m2+ 30.53 m2)	2
Unit 1.07 – 8.07 (typical)	2BR	NO	--	0	NO	14.72 m2	3.25
Unit 1.08 – 9.08 (typical)	1BR (AD)	NO	--	0	NO	8.45 m2	2.5
Unit 1.09 – 9.09 (typical)	2BR	YES	09:00-10:00	1	NO	12.38 m2	3.3
Unit 1.10 – 9.10 (typical)	2BR	YES	13:00-15:00	2	YES	10.26 m2	2.2
Unit 1.11 – 9.11 (typical)	2BR	YES	13:00-15:00	2	YES	10.10 m2	2.7
Unit 1.12 – 9.12 (typical)	2BR	YES	13:00-15:00	2	YES	10.10 m2	2.7
Unit 1.13 – 8.13 (typical)	2BR	YES	14:00-15:00	1	NO	10.26 m2	2.2
Unit 1.14 – 8.14 (typical)	2BR	YES	09:00-10:00	1	NO	12.52 m2	3.25
Unit 1.15 – 9.15 (typical)	1BR (1AD)	NO	09:00-11:00	2	YES	8.04 m2	3
Unit 1.16 – 9.16 (typical)	2BR	NO	09:00-11:00	2	YES	11.93 m2	4.5
Unit 1.17 – 9.17 (typical)	2BR	YES	13:00-15:00	2	YES	12.21 m2	4.2
Unit 1.18 – 8.18 (typical)	1BR	NO	--	0	NO	10.12 m2	2
Unit 1.19 – 9.19 (typical)	2BR	YES	13:00-15:00	2	YES	10.10 m2	2.7
Unit 9.07	2BR	NO	(skylight)	6	YES	14.72 m2	3.25
Unit 9.13	2BR	YES	(skylight)	6	YES	10.26 m2	2.2
Unit 9.14	2BR	YES	(skylight)	6	YES	12.52 m2	3.25
Unit 9.18	1BR	NO	(skylight)	6	YES	10.12 m2	2
117 / 171 UNITS				121 / 171 UNITS			
68.42%				70.76%			
(min. 60%)				(min. 70%)			

UNITS RECEIVE NIL SOLAR ACCESS DURING WINTER SOLSTICE = 25 UNITS (14.6%)

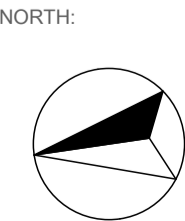
DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

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Development Application  
Original Design:  
Zhinar Architects



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SHEET TITLE:  
**Solar & Cross Ventilation Diagrams**

DESIGNED: AHM    DRAWN: Y T    COMMENCED: March 2017    SCALE: 1:125@A1 1:250@A3    PRINT: A3 SHEET

L.G.A: Cumberland Council    PLOT: Monday, 29 January 2018 11:27 AM



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:30

ISSUE:  
B



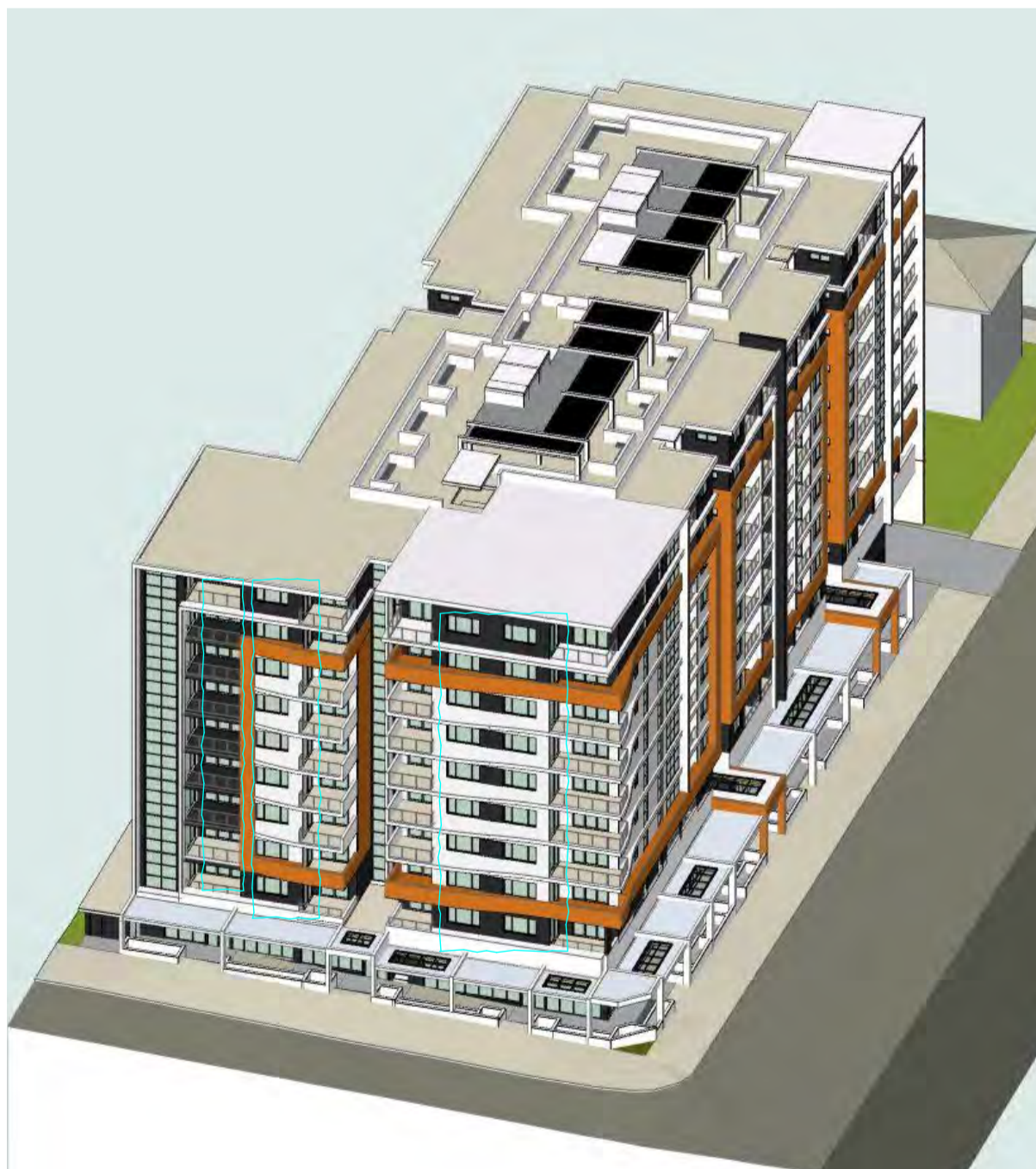
① SUN VIEW - 9AM



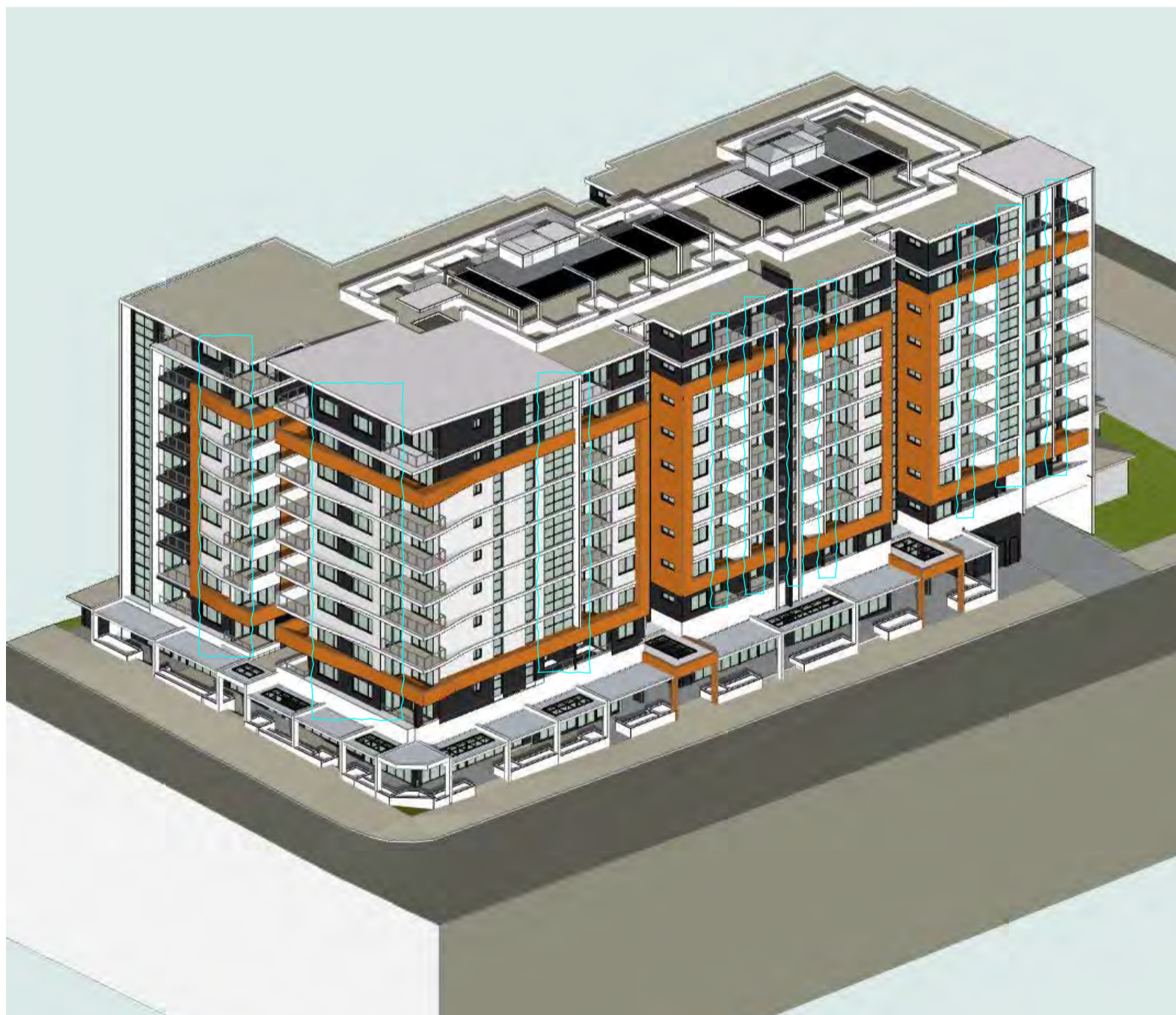
② SUN VIEW - 10AM



③ SUN VIEW - 11AM



④ SUN VIEW - 12PM



⑤ SUN VIEW - 1PM



⑥ SUN VIEW - 2PM



⑦ SUN VIEW - 3PM

\* A view from sun is an aerial view, where the observer views the subject site from the position of the sun at the nominated time and date. Such a view shows all sunlit surfaces at that time. It therefore allows a count of sunlight hours on any glazing or horizontal surfaces.

 Sunlit surfaces at the living room area receiving solar access during winter solstice

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

Development Application  
Original Design:  
Zhinar Architects



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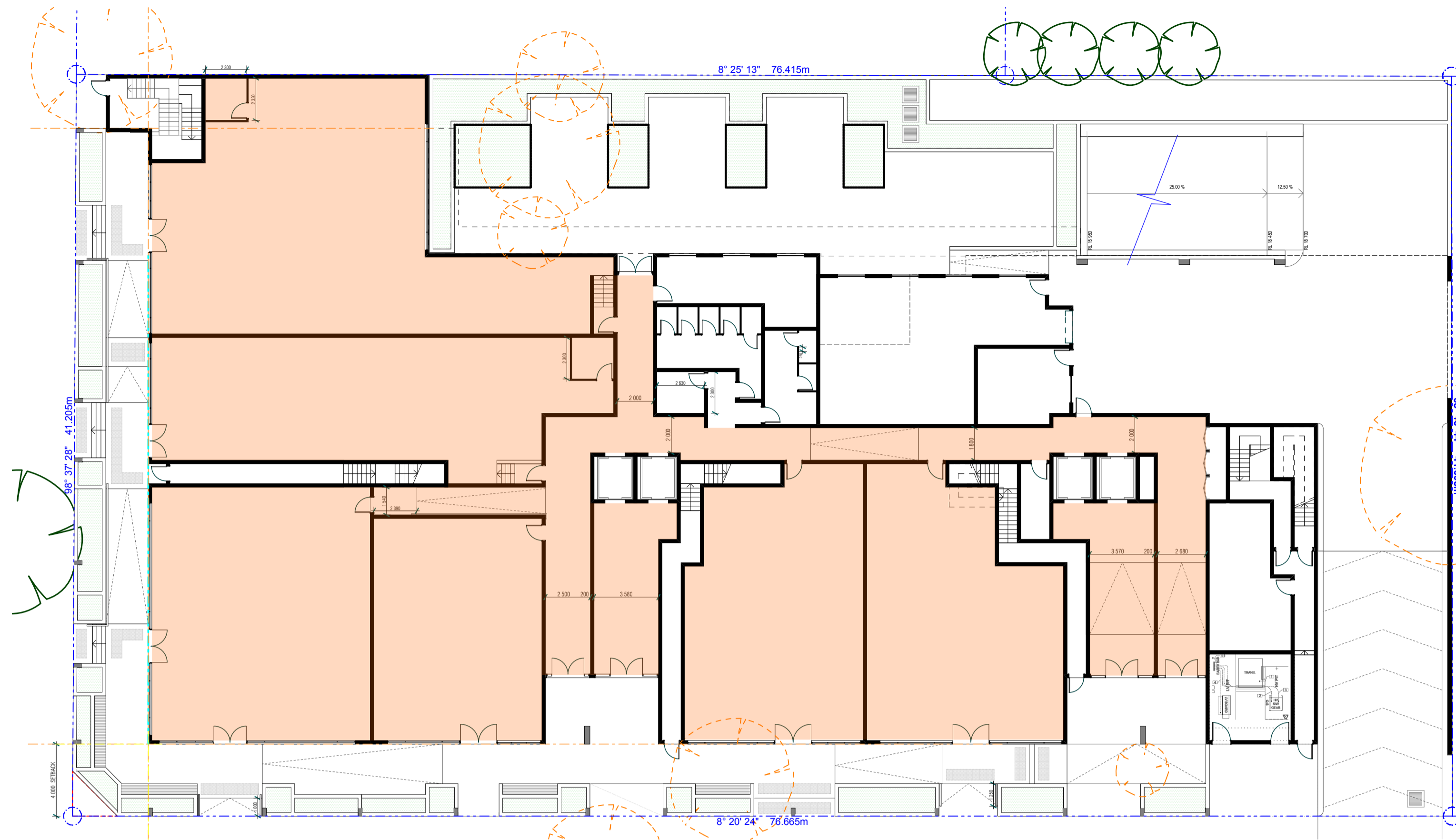
NORTH:

SHEET TITLE:  
Solar Diagram -- View from sun  
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:27 AM  
L.G.A: Cumberland Council

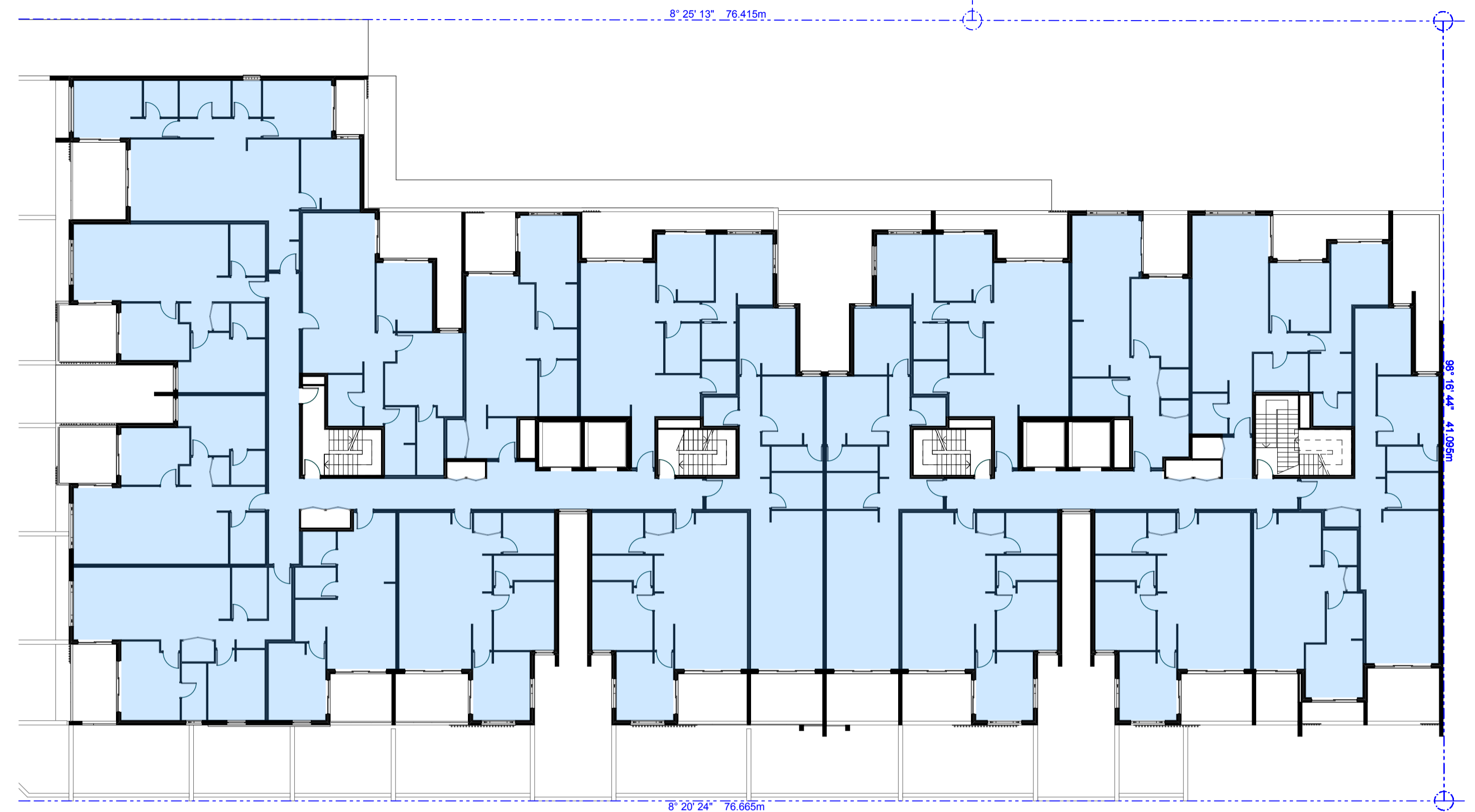


MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:31

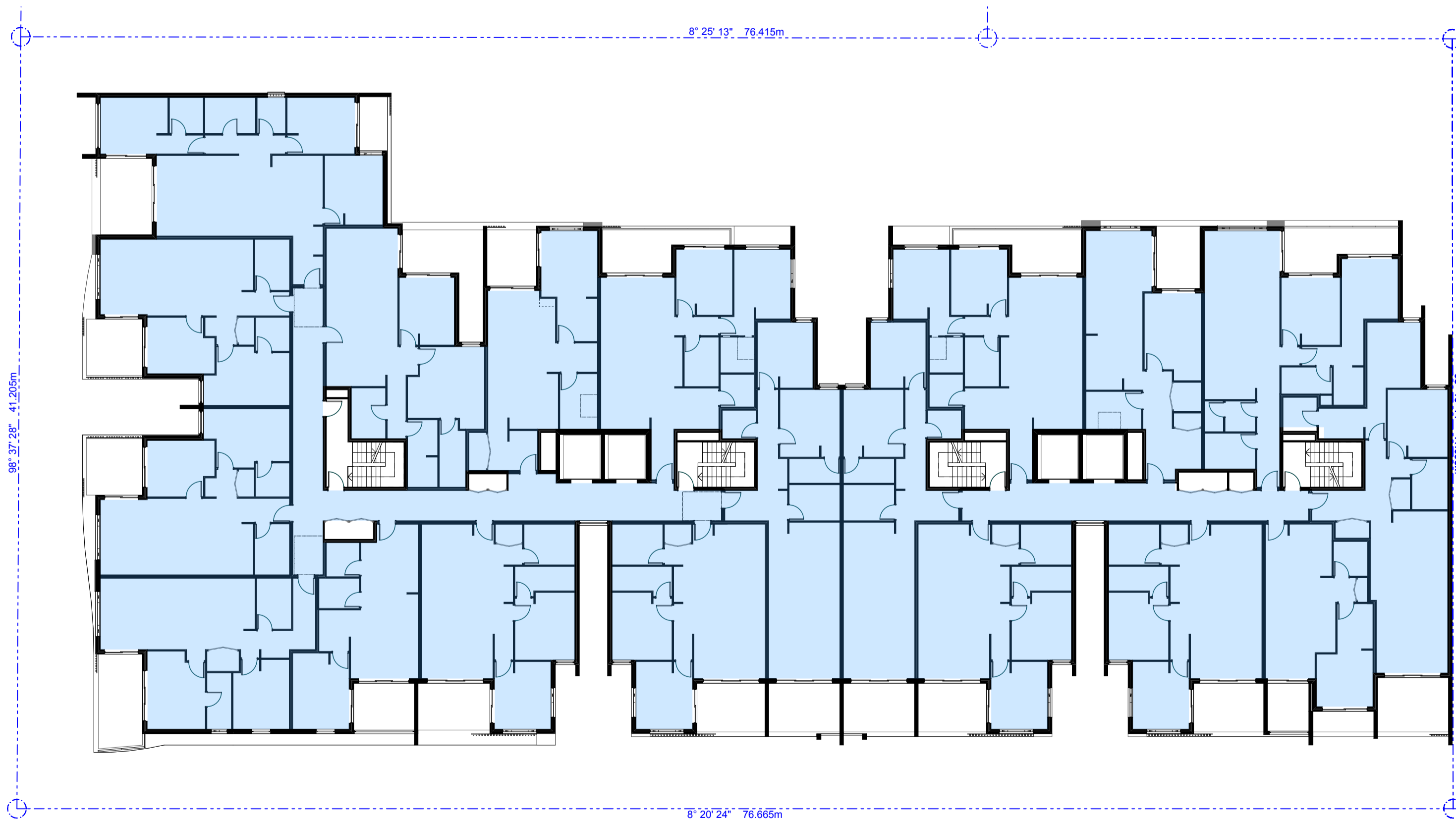
ISSUE:  
B





1 GROUND FLOOR



2 LEVEL 1 PLAN



3 LEVEL 2-9 PLAN (TYPICAL)

-  **GFA CALCULATED - RESIDENTIAL**  
- Including : Common Lobbies/Foyer  
- Excluding : Lifts, Fire stairs, Mechanical risers
-  **GFA CALCULATED - COMMERCIAL**

Ground Floor	1,181.85 m2
First Floor	1,509.72 m2
Second - Ninth Floor	1,516.66 m2 x 8 floors = 12,133.28 m2
<b>TOTAL PROPOSED AREA</b>	<b>14,824.85 m2 ( FSR 4.7 : 1 )</b>

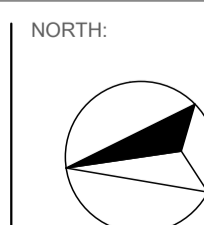
DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

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Original Design:  
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SHEET TITLE: <b>GFA DIAGRAM</b>				
DESIGNED: AHM	DRAWN: Y T	COMMENCED: March 2017	SCALE: 1:125@A1 1:250@A3	PRINT: A3 SHEET
L.G.A: Cumberland Council			PLOT: Monday, 29 January 2018 11:27 AM	



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:32

ISSUE:  
B



	Existing trees to be removed
	Existing trees as per Arborist Report
	Proposed evergreen trees
	Proposed Deciduous tree
	Palms & succulants
	Screen planting
	Larger shrubs
	Private open space paving
	Common open space paving
	Groundcovers
	Nature strip turf
	Balustrading fence
	Strip drainage grate Drainage pit
	Concrete stepping stones In garden bed
	Groundcovers
	Synthetic turfs
	Balustrading fence
	Strip drainage grate Drainage pit
	Concrete
	Walls
	Proposed levels
	Survey layer under



PAUL SCRIVENER  
LANDSCAPE ARCHITECTURE

PO Box 813 Newport NSW 2106  
ABN: 18 283 821 389

Phone: 02 9907 8011  
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[www.scrivener-design.com](http://www.scrivener-design.com)  
Email: [paul@scrivener-design.com](mailto:paul@scrivener-design.com)

PROJECT: MIXED USE DEVELOPMENT  
4-14 MARK STREET,  
LIDCOMBE, NSW

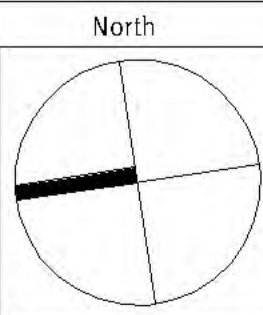
DWG: LANDSCAPE SITE PLAN

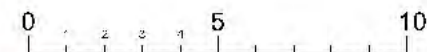
DATE:	30.1.18	SCALE:	AS SHOWN@A1
JOB REF:	17/1919	SHEET No:	1 OF 3
ISSUE:	E		—

Builder must verify all dimensions of the site before work commences.  
Figured dimensions should be used in preference to those called out.

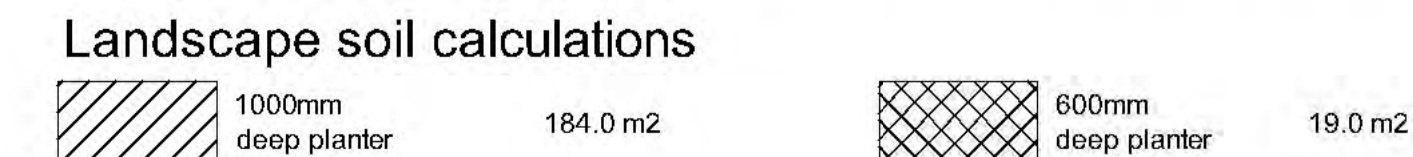
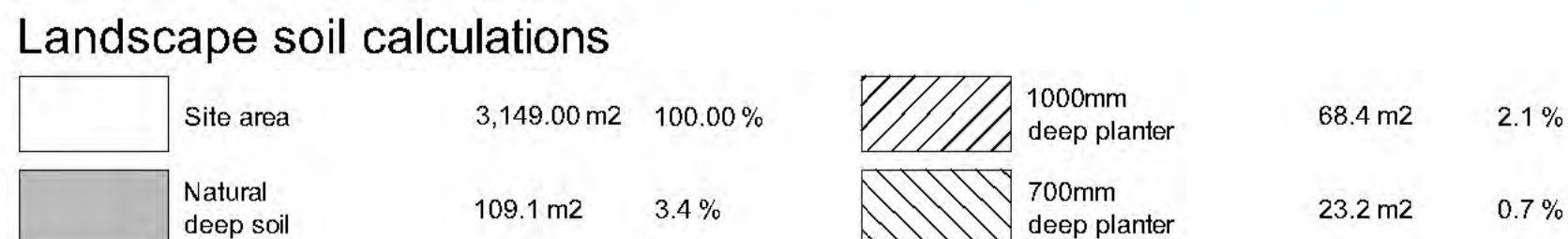
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## AMENDMENTS





Roof top pergola



Linear raised planter/seating n.t.s



	Proposed evergreen trees
	Proposed Deciduous tree
	Palms & succulants
	Low shrubs / ornamental plants
	Screening plants
	Common open space
	Groundcovers / casual plants
	Timber seating
	Strip drainage grate
	Drainage pit
	Walls
	Proposed levels
	Survey layer under



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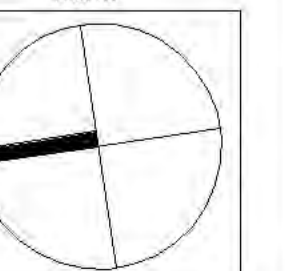
DWG:	ROOF PLAN/ CALCULATIONS PLAN		
DATE:	30.1.18	SCALE:	AS SHOWN@A1
JOB REF:	17/1919	SHEET NO:	2 OF 3
ISSUE:	E		—

Builder must verify all dimensions of the site before work commences. Figured dimensions should be used in preference to those scaled off.

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North



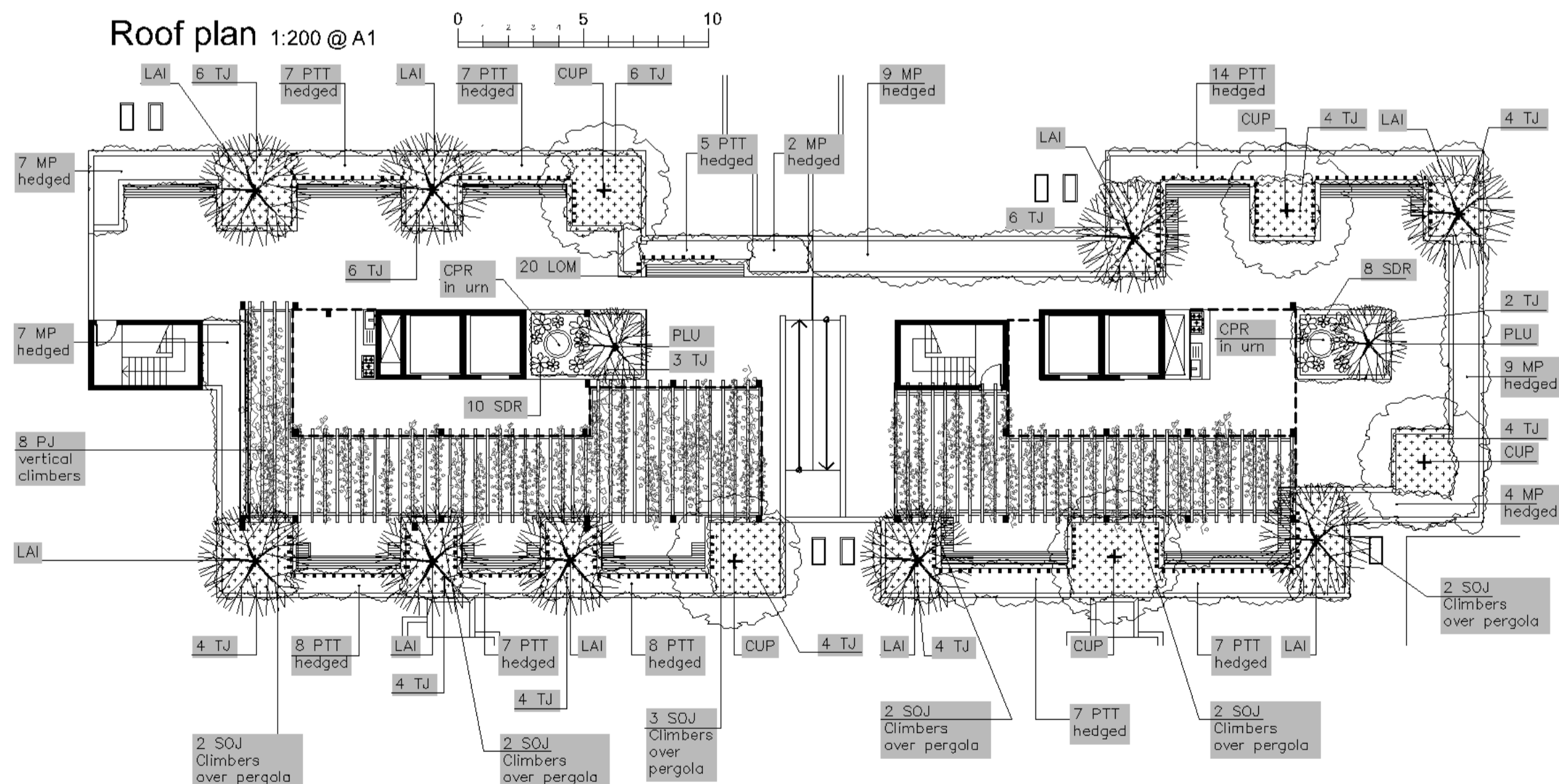


Diagram illustrating the construction and use of a slotted container for plant propagation. The container is a vertical cylinder with slots, filled with a planting mixture. A hardwood stake (38 x 38 x 1800) is driven vertically into the soil until firm. A knot in the webbing tie is used to secure the stake. The dish mulch is applied to the base of the stem to retain water. The backfill with planting mixture is applied as specified. The planting hole is 225mm deep. The root ball width is indicated. The container is used for the maintenance contract to allow for proper development of stem taper.

Labels in the diagram include:

- Hardwood stake 38 x 38 x 1800 driven vertically into soil until firm
- Knot in webbing tie
- Dish mulch to base of stem to retain water
- Backfill with planting mixture as specified
- 50mm wide hessian webbing tie stapled to stake
- Apply 75mm depth mulch around
- Planting hole to container height + 225mm
- Root ball width
- (Hole width to be container)

As per calculations plan sheet 2

Width variable as noted on plan

- Masonry planter as per Engineer's detail
- Plant material
- 'Atlantis' drainage call
- 50mm bed of double washed coarse river sand
- Hydrophylic geotextile
- Waterproof membrane as per Architect's spec.
- Reinforced concrete slab to Engineer's detail
- Water outlet to connect to building drainage system

Planter wall steps out behind end of seat

Plant material as per Sheet 2 planting plan

Vertical timber posts, adjacent to bench seating to comply with balustrading code

Internal planterbox treatment as per Detail 5-115 sheet

Masonry raised planters are beige rendered finish to add top of the planter walls to Architect's specification on refer to Architect's details. Generally 100mm height to provide balustrading compliance.

Draining point as per Hydraulic Engineer's details

Tiled finish to structural finish as per Architect's specification

Timber handwood section 3 x 150 boards (mille 150mm fascia). Oiled finish. Counter sunk water head fixings and concealed gully brackets roots used into planter box structure

Width varies as per plan

Dimensions: 1000, 500, 450, 200, 450

Primary Route Zone where possible

1500mm

1500mm high cyclone mesh fence mounted on steel posts @ approx 1500 intervals.

100mm leaf litter mulch to 200 0mm radius around tree to be kept moist with temporary sprinkler system during construction period.

75 mm depth of selected mulch

Form saucer with a continuous rim for water collection and storage

Specified planting mix

Water in and tamp to remove air pockets

Install turpugs as per manufacturer's specifications. Joining tape as per manufacturer's specifications

Fall turf levels away from buildings min. 1.5%

15

20

Engineer's details

20mm proprietary drainage cell layer and

Install 6kg fine sand per m<sup>2</sup> over finished turf post installation. Broom finish

Synthetic grass matting called "Ilexion X4040" [cortur.com.au](http://cortur.com.au) (or approved equivalent)

Fix with galv. counter-screw to manufacturer's specification to conceal galv. 'L' bracket

Weed mat layer

15 x 20mm compacted fine sand

100x25 timber edging as per detail 3, this sheet

Concrete slab and drainage penetrations to Engineer's details

**9. Maintenance**

The Landscape Contractor shall maintain the contract areas by accepted horticultural practices as well as rectifying any defects that become apparent in the works under normal use. The Landscape Contractor shall maintain the works and make good all defects for a period of thirteen (13) weeks after the date of practical completion. Practical completion of the landscape works shall include but not be limited to the replacement of plants which have failed or been damaged or stolen during work under the contract. Landscape maintenance shall include but not be limited to the following: watering, rubbish removal, spraying and applying leaf surfaces, replacing failed plants, maintaining muck, pruning, weed and disease control, cleaning of surrounding areas. Mow the turf when it is established at regular intervals to maintain an average height of 50mm.

Symbol	Botanical name	Common name	Cont. size	Staking	Mature height	No. req.
<b>Canopy trees</b>						
BAS	<i>Banksia serrata</i>	Old Man Banksia (Small native, Gnarled trunk & serrated leaves)	45Lt	3x50x50x1600	4-6.0M	4
BIN	<i>Banksia integrifolia</i>	Coast Banksia (medium indigenous tree)	100Lt	3x50x50x1600	1-2-15.0M	1
CIL	<i>Callistemon citrinus</i>	Crimson Bottlebrush (indigenous small tree)	75Lt	3x50x50x1600	5-7.0M	2
CUP	<i>Cupaniopsis anacardioides</i>	Tuckeroo (exotic to western native tree, Hardy street tree)	75Lt	3x50x50x1600	5-7.0M	5
LAI	<i>Lagerstroemia indica</i>	Crape Myrtle (small deciduous tree for planters)	75Lt	3x50x50x1600	5-6.0M	9
PLU	<i>Plumera acutifolia</i>	Frangipani (transplanted from pot on site)	semi adv	nil	3-4.0M	2
SYL	<i>Syzygium leucomanthum</i>	Small Leaved Lilly Pilly	35Lt	2x38x38x1600	6-24.0M	6
TRL	<i>Tristanopsis laurina</i> 'Luscious'	Water Gum cultivar (indigenous small-medium, ideal street tree)	75Lt	3x50x50x1600	5-7.0M	6
<b>Shrubs / standards / small feature trees</b>						
BMJ	<i>Buxux microphylla</i> 'Japanicum'	Japanese Box (normal shrub can be hedged lower med height)	200mm	hedged	0.4-0.9M	39
LOM	<i>Lomandra longifolia</i>	Spry Mat Rush	200mm	nil	1.0-10.0M	20
MLG	<i>Magnolia</i> 'Little Gem'	Little Gem (small ornamental standard tree)	300mm	2x50x50x1600	2.5-3.0M	5
MP	<i>Murraya paniculata</i>	Orange Jessamine (flowering screening plant)	300mm	hedged	1.2-2.2M	38
PTT	<i>Pittosporum tobira</i> 'Miss Muffet'	Miss Muffet Pittosporum (bright green foliage hedged)	200mm	hedged	0.8-1.0M	60
WFG	<i>Westringia fruticosa</i> 'Aussie Box'	Ozbreed Aussie Box® (hardy lowplant, can be hedged tightly)	200mm	hedged	0.75-0.9M	7

Groundcovers/Climbers						
HIS	Hibbertia scandens	Guinea Flower (flowering climber / groundcover)	200mm	nil	0.3M	15
HVI	Hardenbergia violacea	Native bartsparilla (native groundcover)	200mm	nil	2.0M	40
PJ	Pandorea jasminoides	Bower Plant (netive climber/cascading groundcover)	200mm	wire supports on fence	2.5M	8
SOL	Solanum jasminoides	Potato Vine (deciduous climber over pergola)	300mm	over pergola	3.5M	18
TJ	Trachelospermum jasminoides	Star Jasmine (flowering climber / groundcover)	200mm	nil	0.3M	96

<b>Water lilies and aquatic plants</b>						
CPR	<i>Cyperus prolifer</i>	Dwarf Papyrus (In submerged pots in pond / urn on roof garden)	200mm	submerged container	0.6M	2

Planting schedule species to be sourced from local nurseries supplying plants of local provenance wherever possible. Landscape contractor is to check plant numbers on plan against the schedule prior to submitting tender price. Contact landscape architect if any number discrepancies are found. Council compliance controls require that any substitution of species variety or container size MUST be confirmed with landscape architect to ensure a compliance certificate can be issued that meets the specific development consent conditions of the project.

**Generally:** Supply an automatic drip line irrigation system. To include all piping either PVC lines and/or class 12 pressure pipe or low density, rubber modified reticulation as required to provide water supply to the nominated areas. To with Hydraulic engineers plans. To include all bends, junctions, ends, ball v and all other ancillary equipment. Backwash valve: An approved backwash valve is to be located at the primary water source for top up valves to rainwater (as applicable).

Irrigation system to be supplied s as nominated on the Hydraulic Engineer's plans

**Chemical root control:** Provide standard chemical root inhibiting chemical cartridge. These are to be industry standard, in-line replaceable cartridges located for easy access for replacement cartridge installation

Automatic Controller: Provide automatic 2 week timer with hourly multi-cycle operation for each zone as noted on the irrigation areas plan on sheet 2.

**Performance:** It shall be the Landscape Contractor's responsibility to ensure satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term viability.

**Testing:** After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.

**Warranty:** A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the item installed) to the satisfaction of the project manager or nominated representative should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.

**Approvals:** The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS).



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PROJECT: MIXED USE DEVELOPMENT  
4-14 MARK STREET,  
LIDCOMBE, NSW

DWG: PLANTING PLAN/  
DETAILS

DATE: 30.1.

JOB REF: 17/19

ISSUE: \_\_\_\_\_

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## AMENDMENTS

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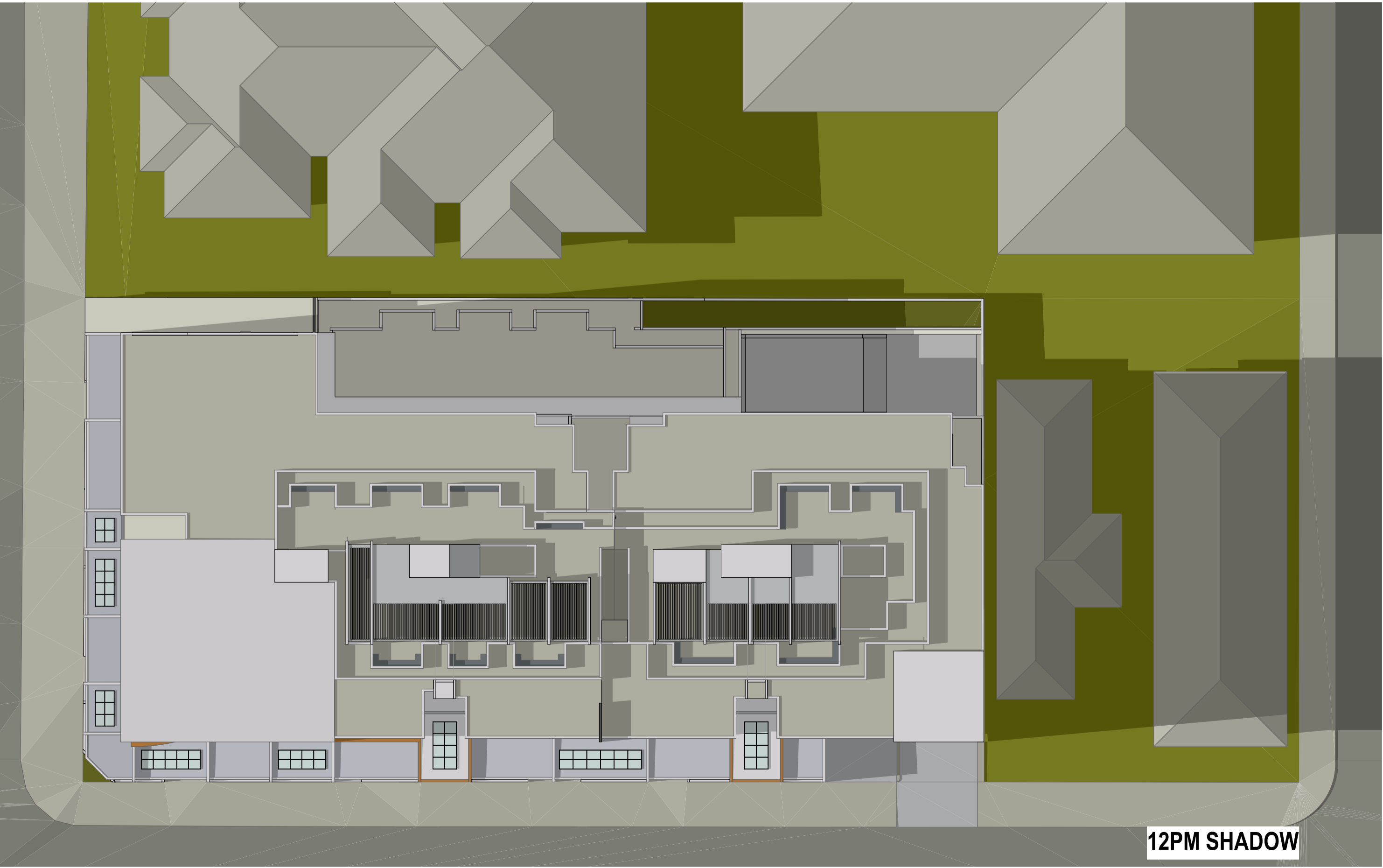
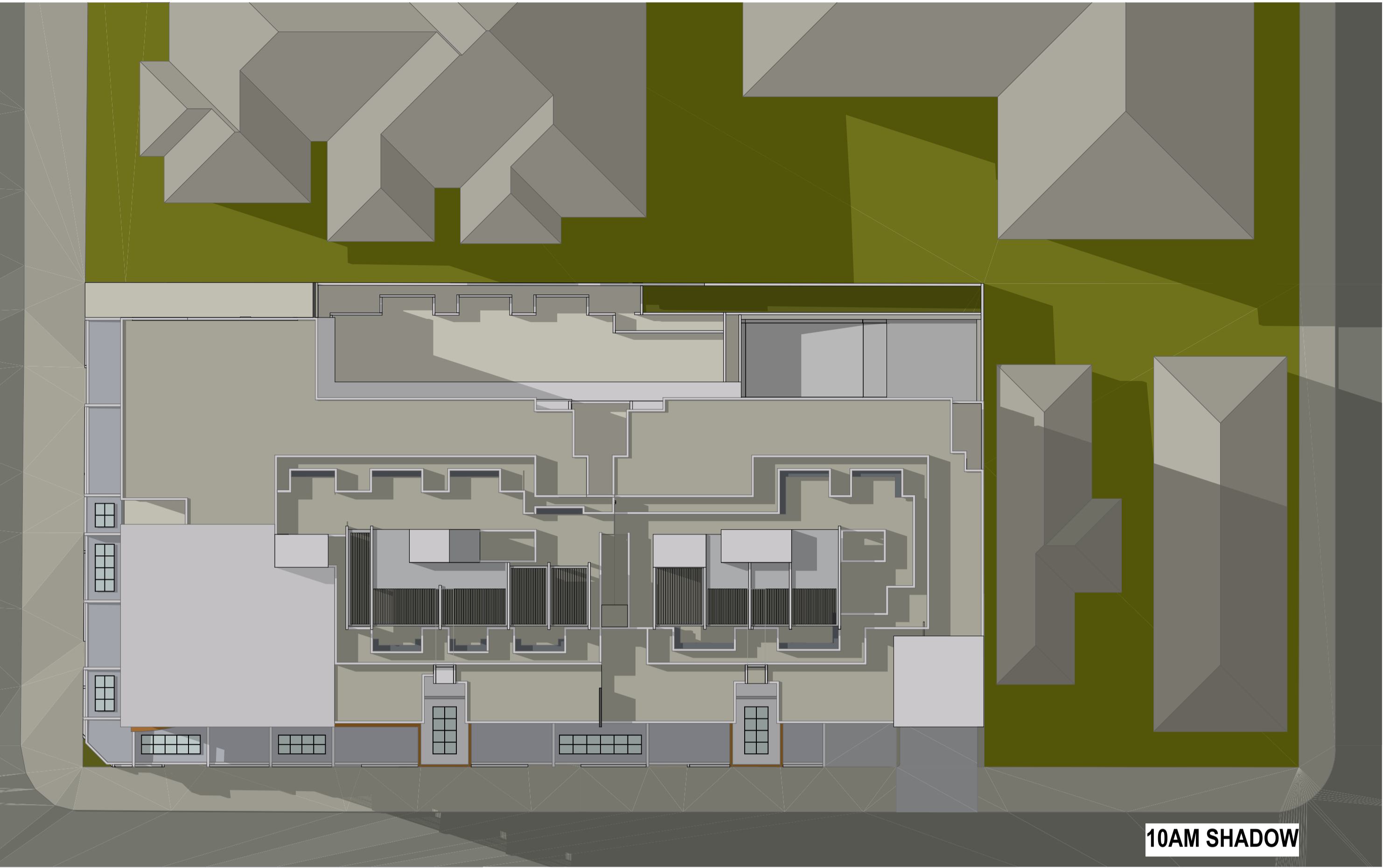
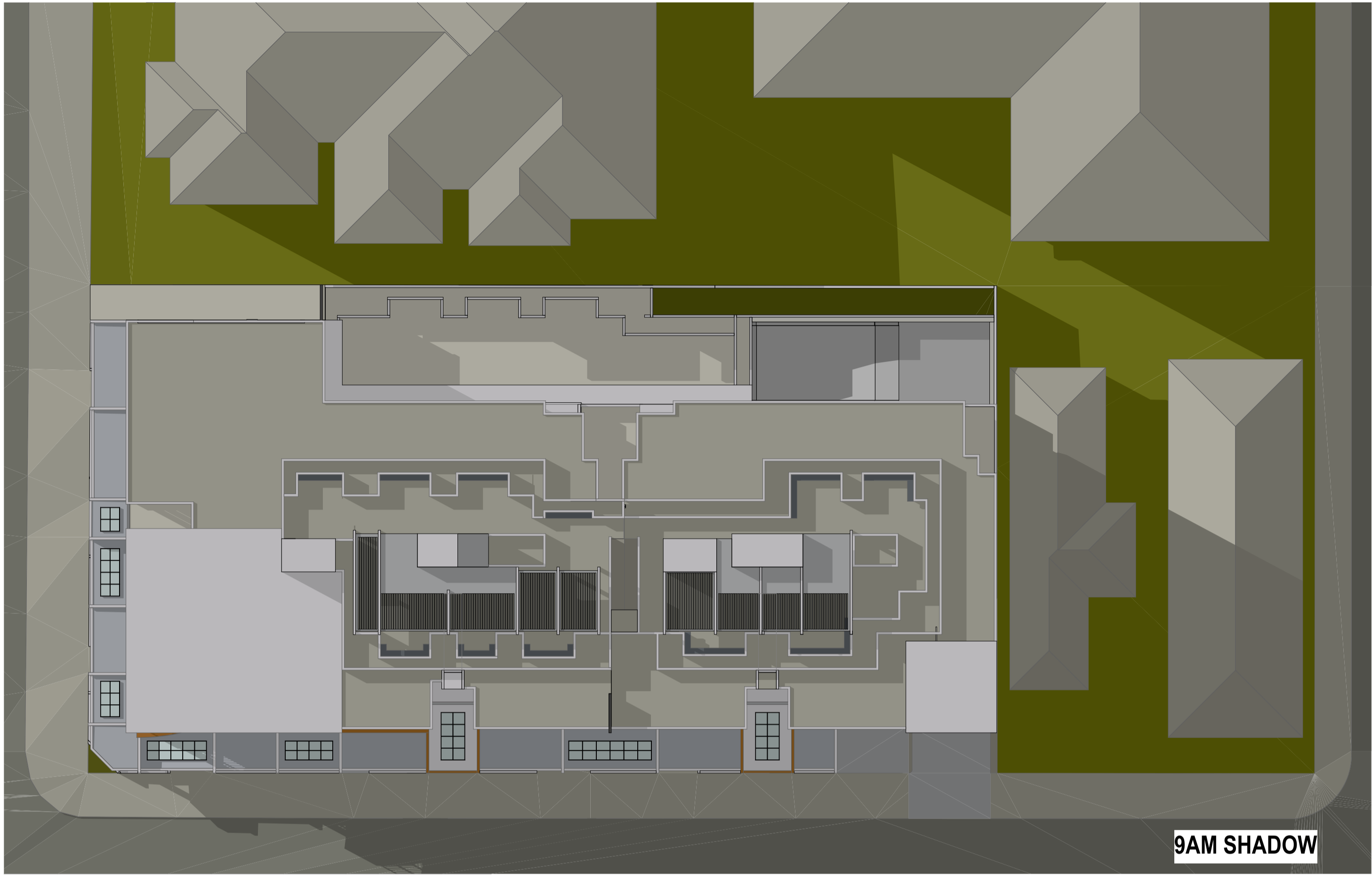
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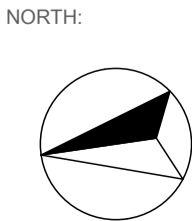
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Development Application

Original Design:  
Zhinar Architects



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SHEET TITLE:  
Shadow Diagram 01 (Winter Solstice)

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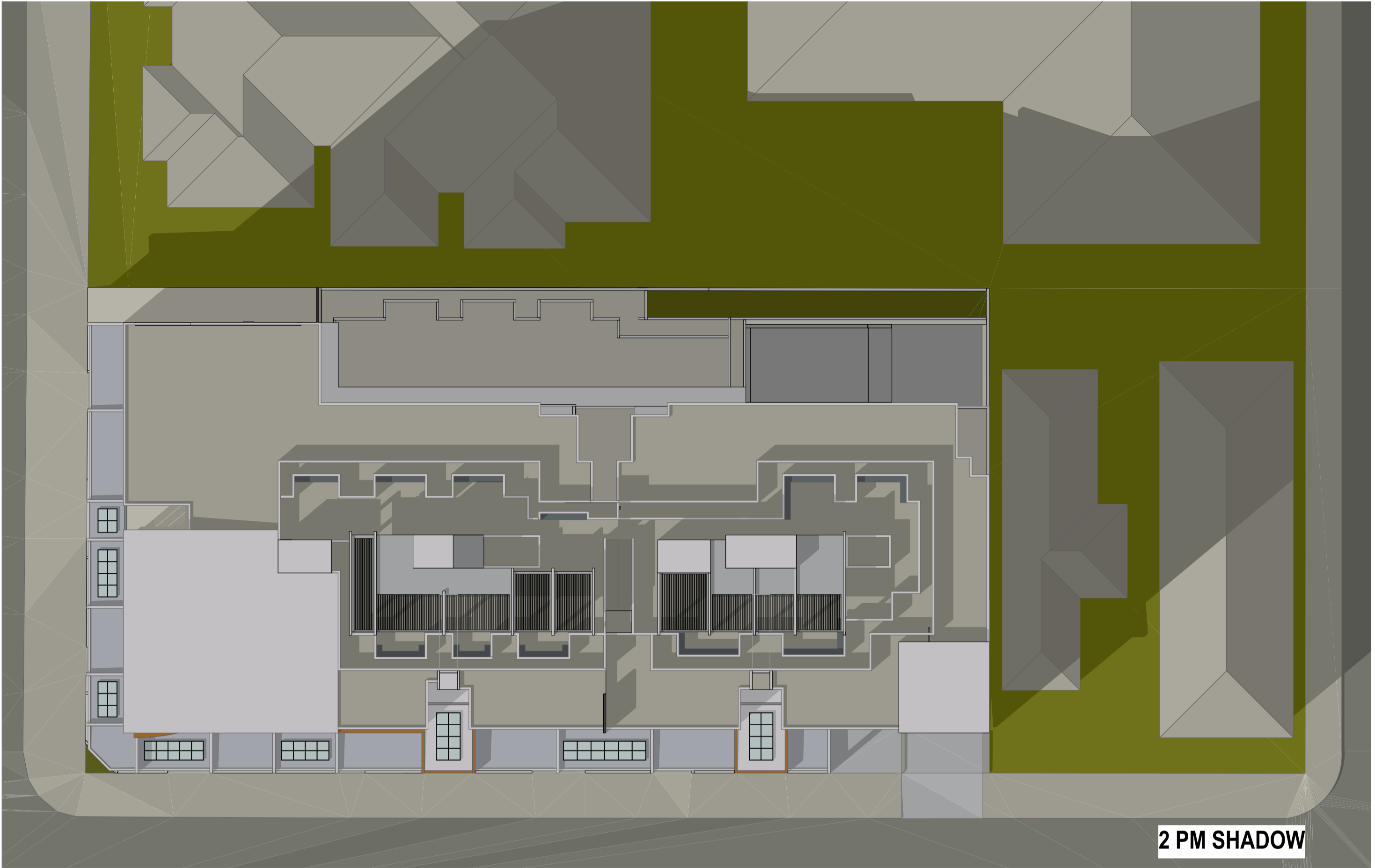
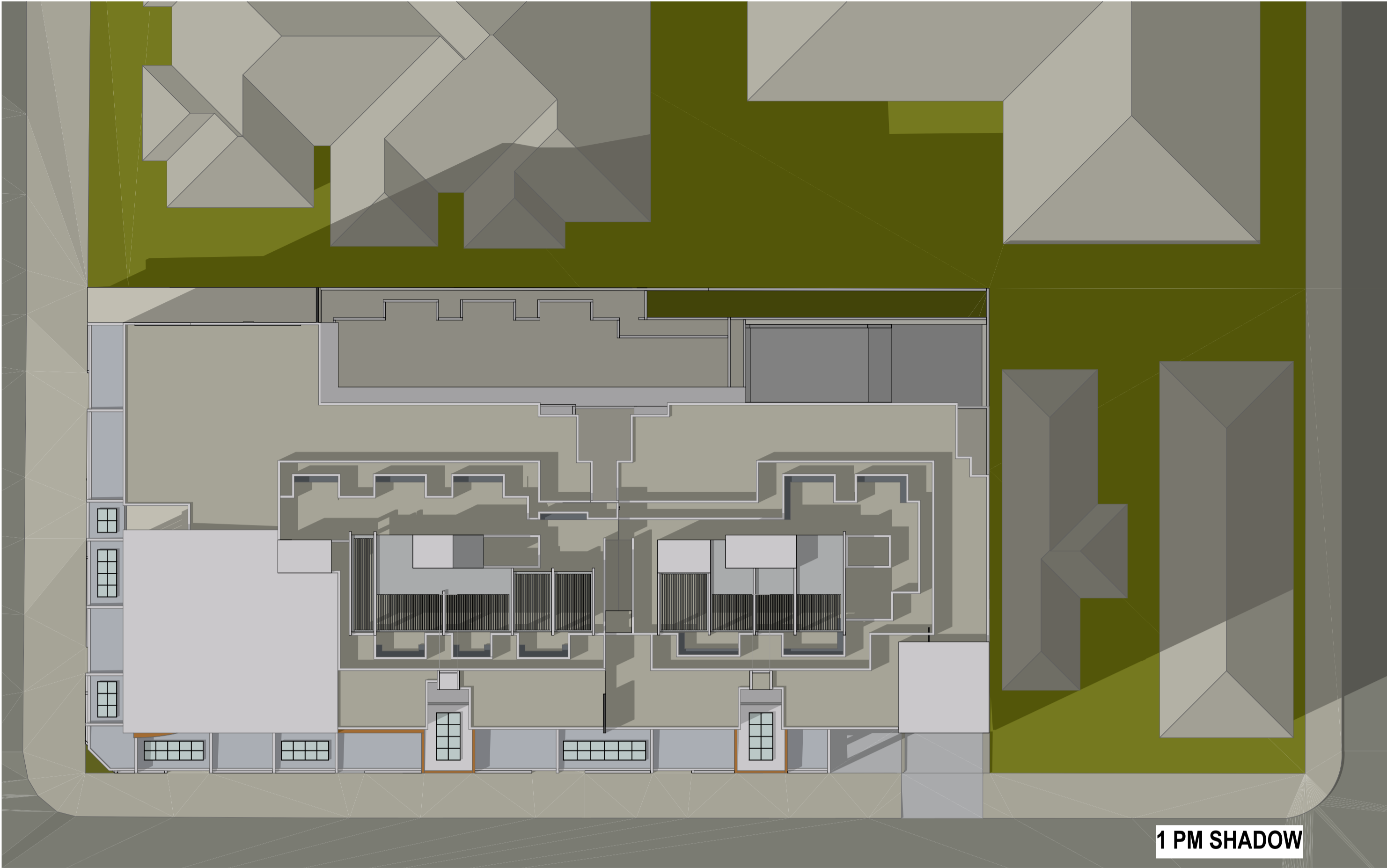
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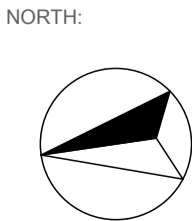
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**Shadow Diagram 02 (Winter Solstice)**

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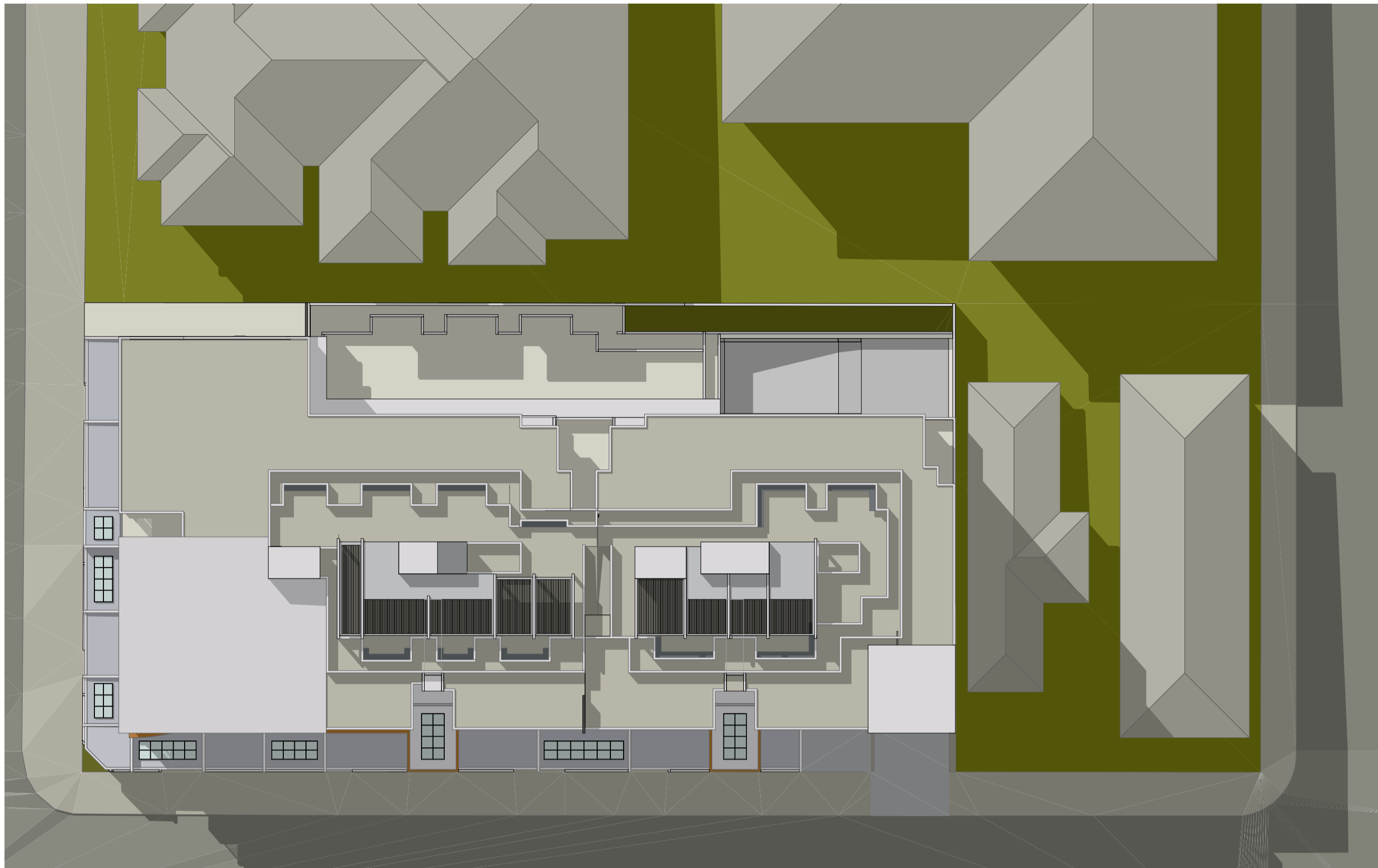


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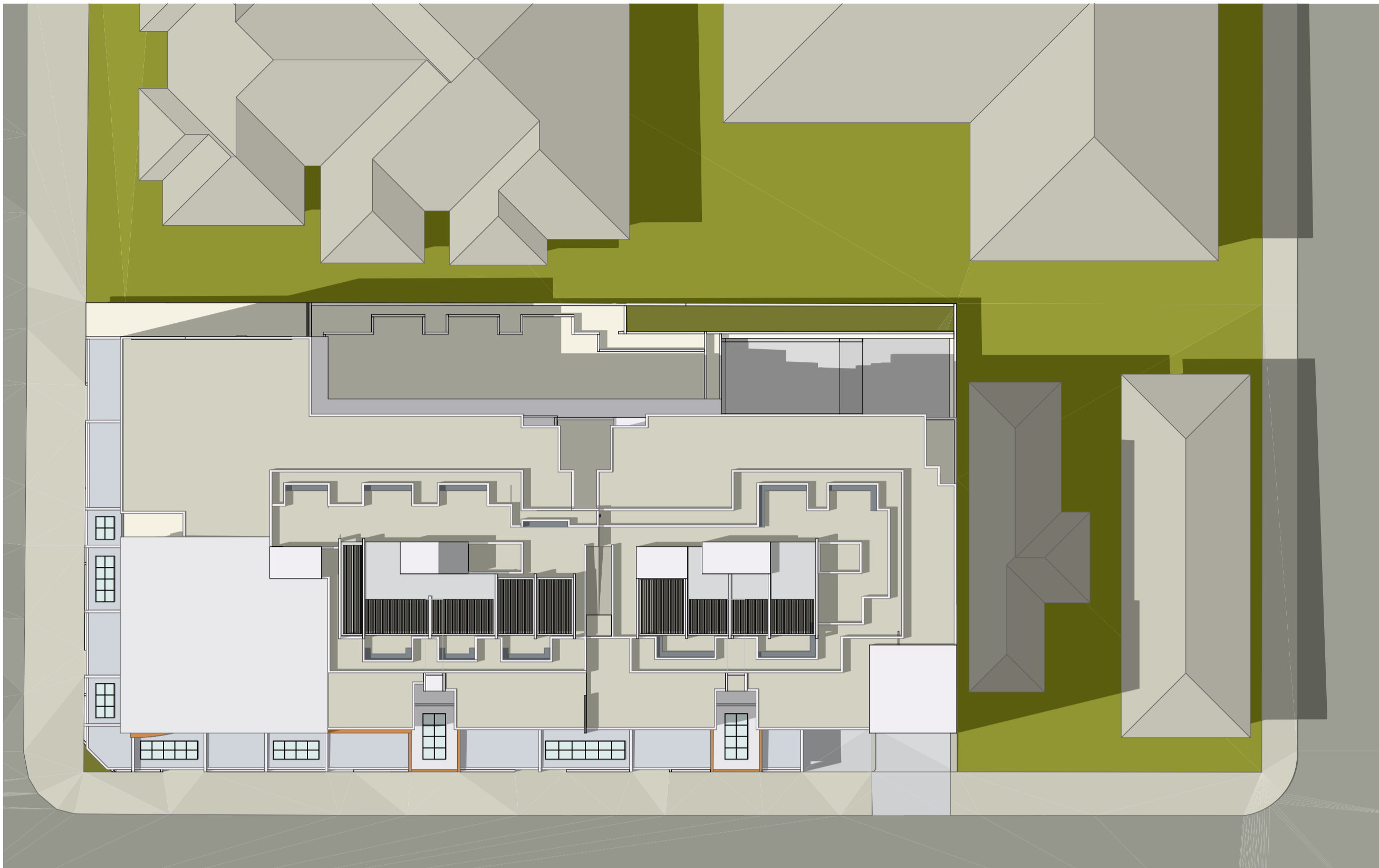
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① 9AM SHADOW



② 12PM SHADOW



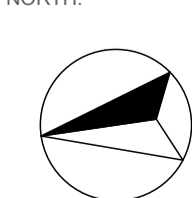
③ 3PM SHADOW

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Development Application  
Original Design:  
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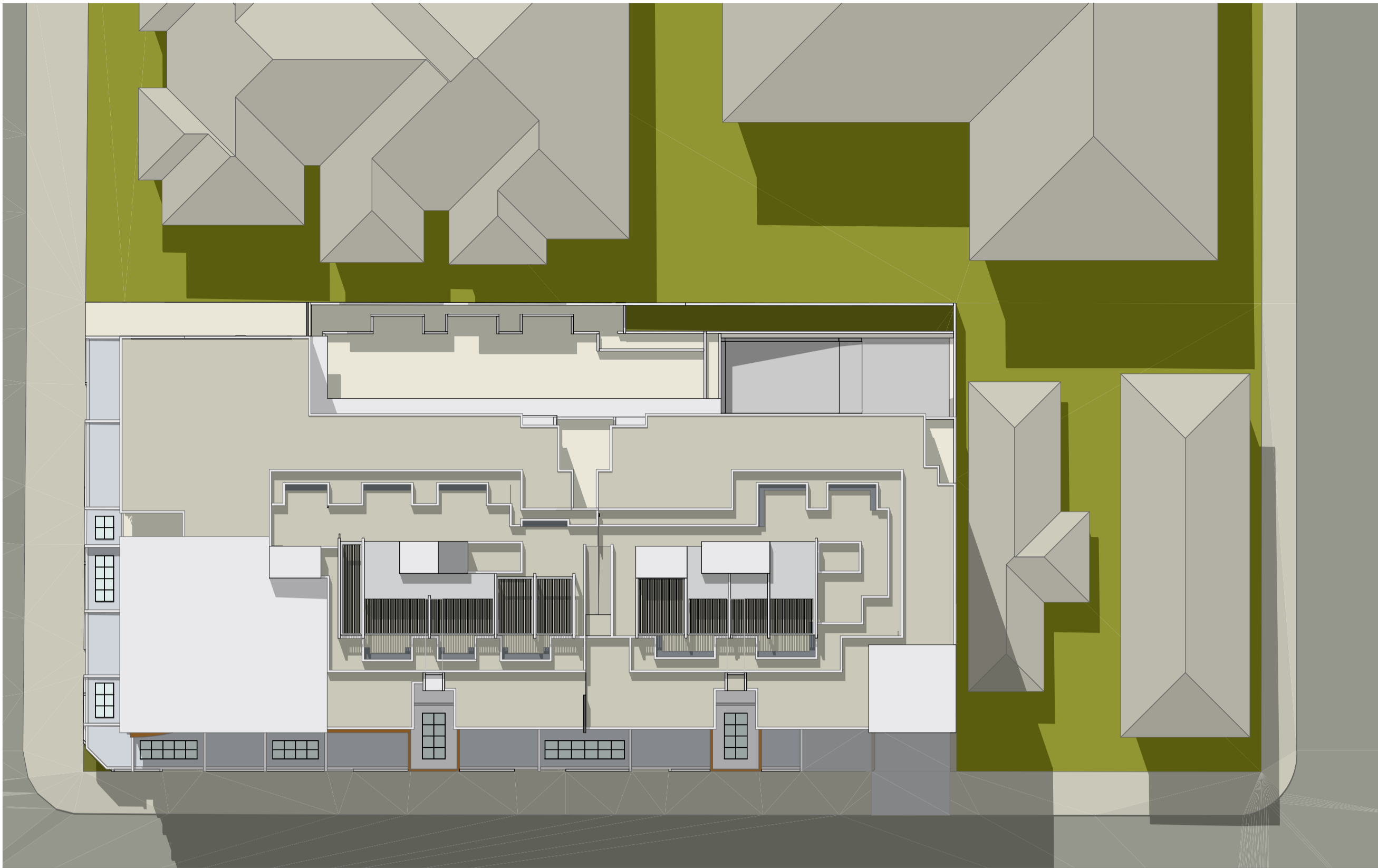


SHEET TITLE:  
Shadow Diagram ( Equinox )  
DESIGNED: AHM DRAWN: YT COMMENCED: March 2017 SCALE: 1:125@A1 1:250@A3 PRINT: A3 SHEET  
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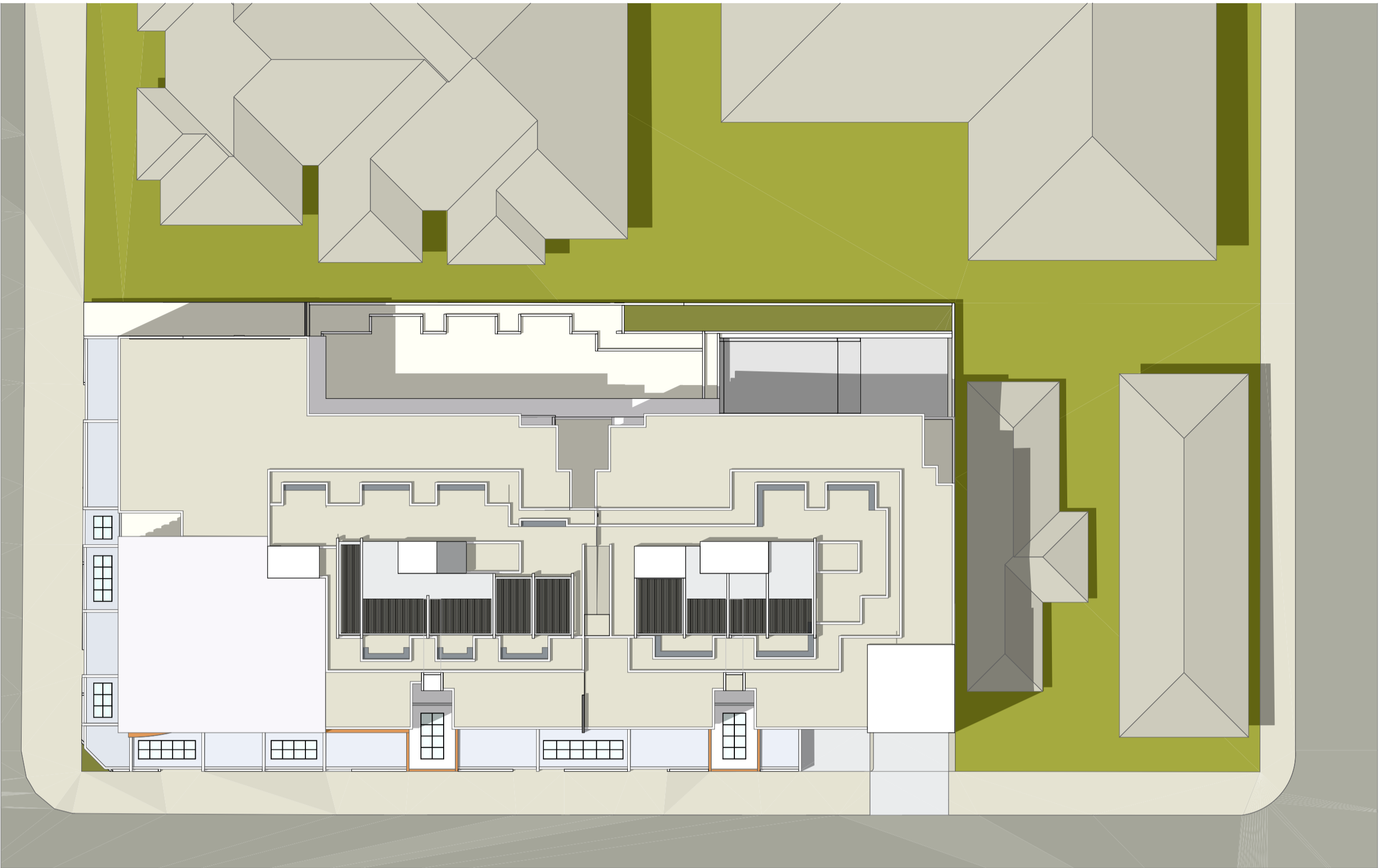


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ISSUE:  
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1 9AM SHADOW



2 12PM SHADOW



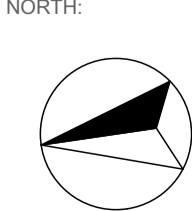
3 3PM SHADOW

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SHEET TITLE:  
Shadow Diagram (Summer Solstice)

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4 - 14 Mark St, Lidcombe

# DEVELOPMENT APPLICATION

## PROPOSED MIXED USE DEVELOPMENT

### 4-14 Mark St, Lidcombe

#### DEVELOPMENT SUMMARY

SITE AREA	3,149 m2 (approx.)		
FSR CALCULATION	Permittable max. FSR	=	5 : 1
PROPOSED FLOOR AREA	Ground Floor	1,181.85 m2	
	First Floor	1,509.72 m2	
	Second - Ninth Floor	1,516.66 m2 x 8 floors = 12,133.28 m2	
	TOTAL PROPOSED AREA	14,824.85 m2 ( FSR 4.7 : 1 )	
BUILDING HEIGHT	Permittable	=	32 m
	Proposed	=	35 m to the top of lift overrun (Clause 4.6 provided)
BUILDING SETBACKS :			
Corner street setback (Mark St & Marsden St) - Northern and Western		4 m	
Rear setback (Eastern) -- Basements & Ground		0-3 m	
Rear setback (Eastern) -- Level 1 upwards		10 m	
Side setback (Southern)		0	
DEEP SOIL AREA	184.56 m2 (5.86%)		
LANDSCAPED AREAS	200.7 m2 ( 6.4% )		
COMMERCIAL / RETAIL AREAS	971.74 m2 ( 6 Shops )		
COMMON OPEN SPACE	Ground ( commercials / retails )	339.35 m2 (10.77% )	
	Rooftop terrace ( residents )	754.32 m2 (23.95% )	
	TOTAL	1 093.67 m2 (34.73%)	

#### Unit Mix / Yield

	1BR	2BR	3BR	Total
L1-9	4 x 9 = 36 units	14 x 9 = 126 units	1 x 9 = 9 units	171 units
Total	36 units (21%)	126 units (73.7%)	9 units (5.3%)	171 units (100%)

#### PARKING CALCULATION - ( ADCP 2010 )

No.of Bedrooms	Minimum Car Spaces required	Maximum Car Spaces required
1BR - 36 units	36 x 1 space = 36 spaces	36 x 1 space = 36 spaces
2BR - 126 units	126 x 1.2 spaces = 152 spaces	126 x 3 spaces = 378 spaces
3BR - 9 units	9 x 1.5 spaces = 14 spaces	9 x 4 spaces = 36 spaces

Visitor (101-250 units)	12 spaces	55 spaces
Commercial	1 space per 60 m2 = 17 spaces	4 spaces per 40 m2 = 97 spaces

**TOTAL 171 units      231 spaces (min.)      602 spaces (max.)**

<b>Total car parking provided = 434 spaces</b>	
- Resident parking	401 spaces ( 19 accessible parking )
- Visitor parking	12 spaces ( 1 accessible parking )
- Retail / Commercial staff	12 spaces
- Retail / Commercial customers	9 spaces ( 1 accessible parking )
- Bicycle parking (1 every 5 units)	35 spaces (36 spaces provided)



#### Drawing Schedule

01	Development Summary	15	Level 9 Plan
02	Site Analysis 01	16	Roof Plan
03	Site Analysis 02	17	Top Roof Plan
04	Street Frontage	18	West Elevation - Mark St
05A	Basement 5 Plan	19	East Elevation
05B	Basement 4 Plan	20	North Elevation - Marsden St
06	Basement 3 Plan	21	South Elevation
07	Basement 2 Plan	22	Section A
08	Basement 1 Plan	23	Section B
09A	Site Plan (Existing Context)	24	Section C
09B	Site Plan (Future Context)	25	Section D
10	Ground FI Plan	26	Shadow Diagram 01 (Winter Solstice)
11A	Level 1 Plan	27	Shadow Diagram 02 (Winter Solstice)
11B	Future Context (Level 1-9)	28	Shadow Diagram ( Equinox )
12	Level 2 Plan	29	Shadow Diagram (Summer Solstice)
13	Level 3-7 Plans (typical)	30	Solar & Cross Ventilation Diagrams
14	Level 8 Plan	31	Solar Diagram -- View from sun
		32	GFA DIAGRAM

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NORTH:

#### Development Summary

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**MIXED USE DEVELOPMENT**  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
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ISSUE:  
**B**



1 West Elevation (Existing Context)  
Scale 1 : 400 @ A3



2 West Elevation (Future Context)  
Scale 1 : 400 @ A3

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
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## Development Application

Original Design:  
Zhinar Architects



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NORTH:

SHEET TITLE:  
Street Frontage

DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
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## MIXED USE DEVELOPMENT

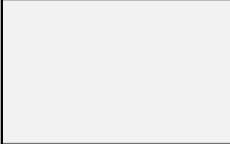


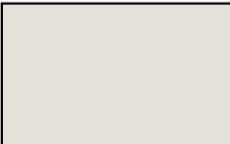




4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:04

ISSUE:  
B



1 West Elevation - Mark St  
Scale 1 : 250 @ A3

#### SCHEDULE OF FINISHES

	1. RENDER & PAINT FINISH ( Dulux 'Lexicon Quarter' or similar approved )		4. WALL CLADDING ( Vitrabond - Metallic Range - 'Copper 809' or similar approved )		7. ROOFTOP PERGOLA FRAME ( Powder Coated Finish - Dulux 'Silver Grey' or similar approved )
	2. RENDER & PAINT FINISH ( Dulux 'Lined White Quarter' or similar approved )		5. ALUMINIUM LOUVRES / SCREENS ( Powder Coated Finish - Dulux 'Domino' or similar approved )		8. ALUMINIUM FRAMED DOOR / WINDOW ( Powder Coated Finish - Dulux 'Wayward Grey' or similar approved )
	3. RENDER & PAINT FINISH ( Dulux 'Raku' or similar approved )		6. GLASS BALUSTRADE ( Translucent / frosted glass or similar approved )		

REVISION B :  
- All residential units (previously proposed) on Ground converted to commercial areas  
- Ground to Level 1 floor height increased by 500mm, upper floors follow  
- Add rooftop terrace COS to tower B, connected by accessible ramps to tower A rooftop terrace

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

Drawing is NOT VALID or issued for use, unless checked.

#### Development Application

Original Design:  
Zhinar Architects



GENERAL NOTES:  
Figured dimensions shall be taken in preference to scaling.  
Drawing to be read in conjunction with information on first page.  
Check all dimensions and levels on site before commencing work or ordering materials.  
All existing ground lines & trees location are approximate, therefore to be verified on-site by the builder.  
Any discrepancies to be verified back to Zhinar Architects before proceeding.  
All workmanship and materials shall comply with all relevant codes, ordinances, Australian Standards and manufacturer's instructions.  
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NORTH:

SHEET TITLE:  
West Elevation - Mark St

DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET

L.G.A: Cumberland Council

PLOT: Monday, 29 January 2018 11:27 AM



#### MIXED USE DEVELOPMENT

4-14 Mark St  
Lidcombe, NSW 2141  
8538 DA - B:18

ISSUE:  
B



1 East Elevation  
Scale 1 : 250 @ A3

SCHEDULE OF FINISHES

1.	RENDER & PAINT FINISH ( Dulux 'Lexicon Quarter' or similar approved )	4.	WALL CLADDING ( Vitrabond - Metallic Range - 'Copper 809' or similar approved )	7.	ROOFTOP PERGOLA FRAME ( Powder Coated Finish - Dulux 'Silver Grey' or similar approved )
2.	RENDER & PAINT FINISH ( Dulux 'Lined White Quarter' or similar approved )	5.	ALUMINIUM LOUVRES / SCREENS ( Powder Coated Finish - Dulux 'Domino' or similar approved )	8.	ALUMINIUM FRAMED DOOR / WINDOW ( Powder Coated Finish - Dulux 'Wayward Grey' or similar approved )
3.	RENDER & PAINT FINISH ( Dulux 'Raku' or similar approved )	6.	GLASS BALUSTRADE ( Translucent / frosted glass or similar approved )		

REVISION B :  
- Ground to Level 1 floor height increased by 500mm, upper floors follow  
- Add rooftop terrace COS to tower B, connected by accessible ramps to tower A rooftop terrace

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	31/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

Development Application  
Original Design:  
Zhinar Architects



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NORTH:

SHEET TITLE:  
East Elevation

DESIGNED: AHM  
DRAWN: Y T  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Wednesday, 31 January 2018 10:17 AM  
L.G.A: Cumberland Council





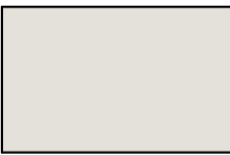



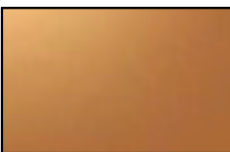

MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:19

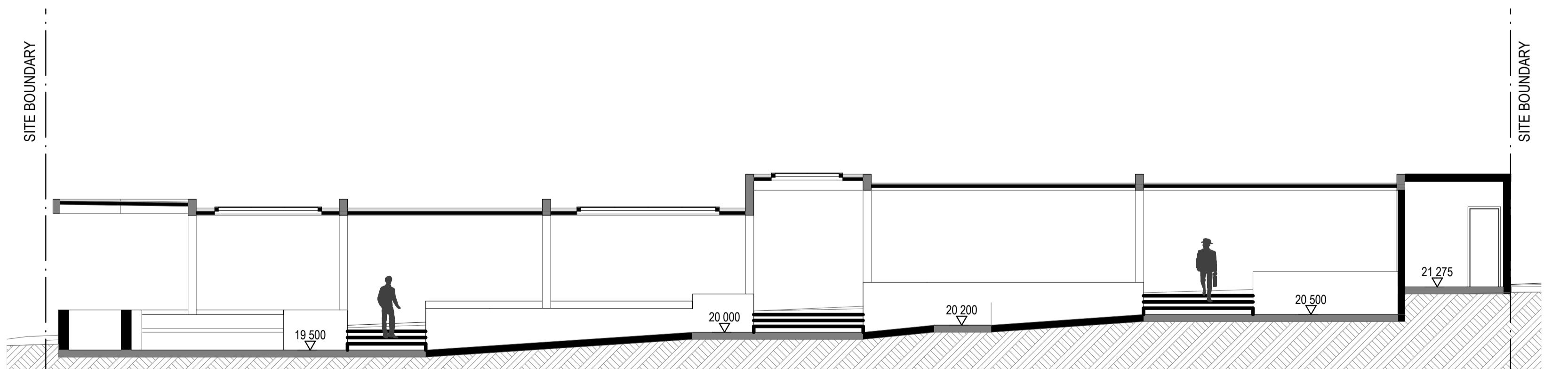
ISSUE:  
B



1 North Elevation - Marsden St  
Scale 1 : 250 @ A3

SCHEDULE OF FINISHES

	1. RENDER & PAINT FINISH ( Dulux 'Lexicon Quarter' or similar approved )		5. ALUMINIUM LOUVRES / SCREENS ( Powder Coated Finish - Dulux 'Domino' or similar approved )
	2. RENDER & PAINT FINISH ( Dulux 'Lined White Quarter' or similar approved )		6. GLASS BALUSTRADE ( Translucent / frosted glass or similar approved )
	3. RENDER & PAINT FINISH ( Dulux 'Raku' or similar approved )		7. ROOFTOP PERGOLA FRAME ( Powder Coated Finish - Dulux 'Silver Grey' or similar approved )
	4. WALL CLADDING ( Vitrabond - Metallic Range - 'Copper 809' or similar approved )		8. ALUMINIUM FRAMED DOOR / WINDOW ( Powder Coated Finish - Dulux 'Wayward Grey' or similar approved )



2 North storefront pathway  
Scale 1 : 200 @ A3

REVISION B :  
- All residential units (previously proposed) on Ground converted to commercial areas  
- Ground to Level 1 floor height increased by 500mm, upper floors follow

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			

Development Application

Original Design:  
Zhinar Architects



GENERAL NOTES:  
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NORTH:

SHEET TITLE:  
North Elevation - Marsden St

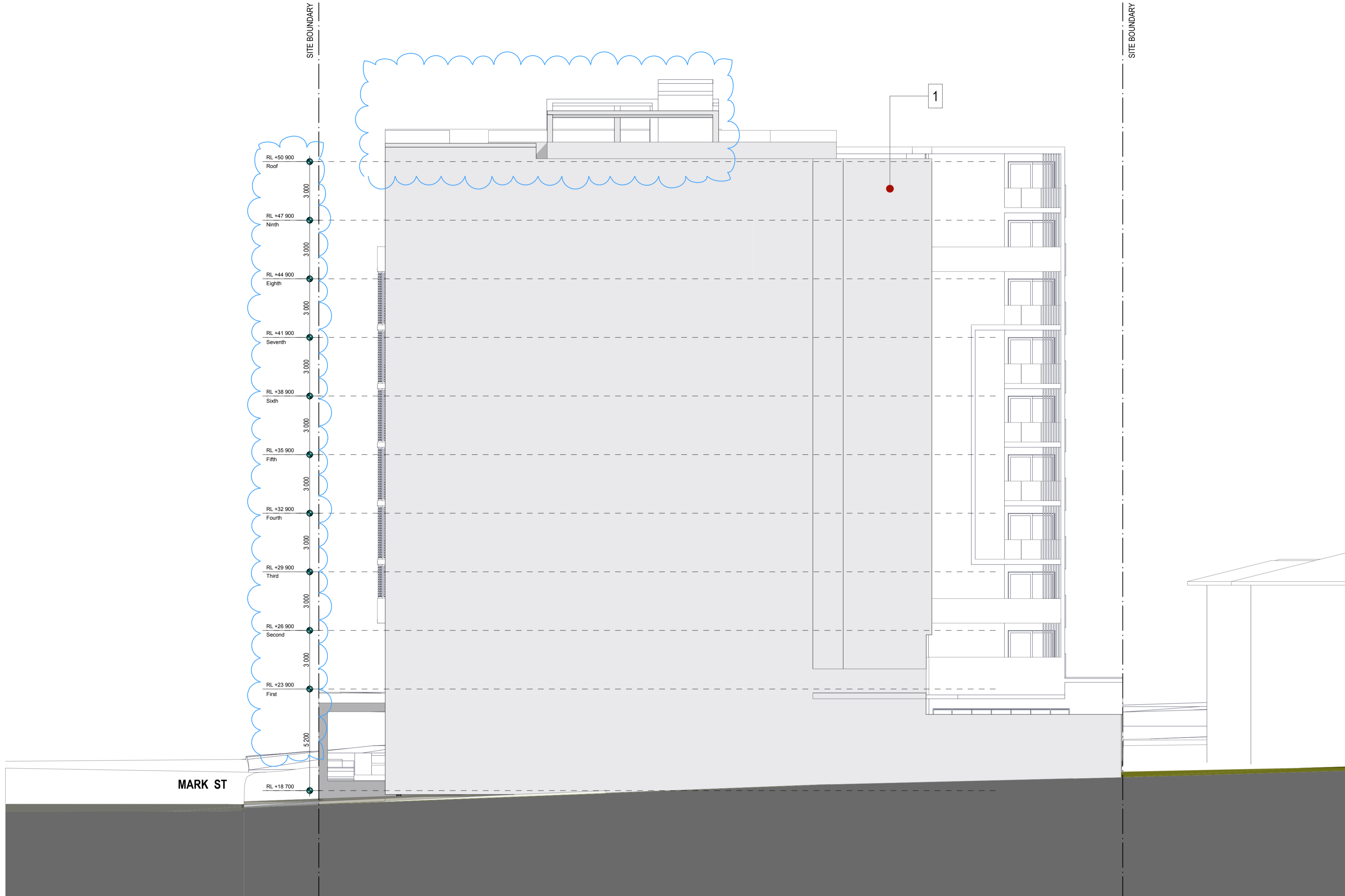
DESIGNED: AHM  
DRAWN: YT  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:27 AM  
L.G.A: Cumberland Council



MIXED USE DEVELOPMENT


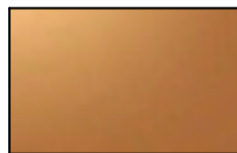

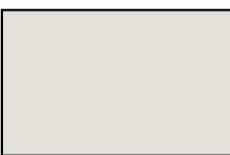




4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:20

ISSUE:  
B



1 South Elevation  
Scale 1 : 250 @ A3

SCHEDULE OF FINISHES

	1. RENDER & PAINT FINISH ( Dulux 'Lexicon Quarter' or similar approved )		4. WALL CLADDING ( Vitrabond - Metallic Range - 'Copper 809' or similar approved )		7. ROOFTOP PERGOLA FRAME ( Powder Coated Finish - Dulux 'Silver Grey' or similar approved )
	2. RENDER & PAINT FINISH ( Dulux 'Limed White Quarter' or similar approved )		5. ALUMINIUM LOUVRES / SCREENS ( Powder Coated Finish - Dulux 'Domino' or similar approved )		8. ALUMINIUM FRAMED DOOR / WINDOW ( Powder Coated Finish - Dulux 'Wayward Grey' or similar approved )
	3. RENDER & PAINT FINISH ( Dulux 'Raku' or similar approved )		6. GLASS BALUSTRADE ( Translucent / frosted glass or similar approved )		

REVISION B :  
- Ground to Level 1 floor height increased by 500mm, upper floors follow  
- Add rooftop terrace COS to tower B, connected by accessible ramps to tower A rooftop terrace

DA-B	DRAWINGS AMENDED AS SHOWN CLOUDED	28/01/2018	YT	AHM
DA-A	ISSUED FOR DEVELOPMENT APPLICATION	03/08/2017	YT	AHM
ISSUE	AMENDMENT			
Drawing is NOT VALID or issued for use, unless checked.				

Development Application  
Original Design:  
Zhinar Architects



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NORTH:

SHEET TITLE:  
South Elevation

DESIGNED: AHM  
DRAWN: Y T  
COMMENCED: March 2017  
SCALE: 1:125@A1  
1:250@A3  
PRINT: A3 SHEET  
PLOT: Monday, 29 January 2018 11:27 AM  
L.G.A: Cumberland Council



MIXED USE DEVELOPMENT  
4-14 Mark St  
Lidcombe, NSW 2141  
JOB No.:  
8538 DA - B:21

ISSUE:  
B